

Public Document Pack



PLANNING COMMITTEE

Tuesday, 18th October, 2016 at 7.30 pm
Venue: Conference Room,
The Civic Centre, Silver Street,
Enfield, Middlesex, EN1 3XA

Contact: Jane Creer / Metin Halil
Committee Administrator
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MEMBERS

Councillors : Toby Simon (Chair), Dinah Barry, Derek Levy, Ahmet Hasan, Jansev Jemal, George Savva MBE, Jason Charalambous, Dogan Delman, Christine Hamilton, Anne-Marie Pearce, Jim Steven and Katherine Chibah

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm
Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 17/10/16

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTERESTS**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non pecuniary interests relevant to items on the agenda.

- 3. MINUTES OF THE PLANNING COMMITTEE 13 SEPTEMBER 2016 AND 20 SEPTEMBER 2016 (Pages 1 - 8)**

To receive the minutes of the Planning Committee meetings held on Tuesday 13 September 2016 and Tuesday 20 September 2016.

4. REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 122) (Pages 9 - 10)

To receive the covering report of the Assistant Director, Planning, Highways and Transportation.

4.1 Applications dealt with under delegated powers. (A copy is available in the Members' Library).

5. 16/01062/FUL - 2 DERWENT ROAD, LONDON, N13 4PU (Pages 11 - 24)

RECOMMENDATION: Approval subject to conditions
WARD: Winchmore Hill

6. 16/01561/FUL - DEIMEL FABRIC CO LTD, PARK AVENUE, LONDON, N18 2UH (Pages 25 - 68)

RECOMMENDATION: Approval subject to conditions and completion of S106 Agreement
WARD: Edmonton Green

7. 15/05078/HOU - 2 MASONS ROAD, ENFIELD, EN1 3AG (Pages 69 - 78)

RECOMMENDATION: Approval subject to conditions
WARD: Turkey Street

8. 16/01805/RE4 - ENFIELD PLAYING FIELDS, GREAT CAMBRIDGE ROAD, ENFIELD, EN1 3SD (Pages 79 - 92)

RECOMMENDATION: Approval subject to conditions
WARD: Southbury

9. 16/03061/HOU - 21 ABBEY ROAD, ENFIELD, EN1 2QP (Pages 93 - 110)

RECOMMENDATION: Approval subject to conditions
WARD: Bush Hill Park

10. 16/03439/HOU - 21 ABBEY ROAD, ENFIELD, EN1 2QP (Pages 111 - 124)

RECOMMENDATION: Approval subject to conditions
WARD: Bush Hill Park

11. PLANNING PANEL MEETING

To note proposed arrangements for a Planning Panel regarding Former Middlesex University, Trent Park, Bramley Road, London N14 4YZ site (Application Ref. 16/04324/FUL).

Date: Thursday 17 November 2016

Time: 7:30pm

Venue: Main Hall, Highlands Secondary School, Worlds End Lane, London N21 1QQ.

Panel Membership: Councillors Dogan Delman (Chair), Anne-Marie Pearce, and 3 x Majority Side Members tbc

12. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).

(There is no part 2 agenda)

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PLANNING COMMITTEE - 13.9.2016**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 13 SEPTEMBER 2016****COUNCILLORS**

PRESENT Toby Simon, Derek Levy, Ahmet Hasan, George Savva MBE, Jason Charalambous, Dogan Delman, Christine Hamilton, Anne-Marie Pearce and Jim Steven

ABSENT Dinah Barry, Jansev Jemal and Katherine Chibah

OFFICERS: Bob Griffiths (Assistant Director - Planning, Highways & Transportation), Andy Higham (Head of Development Management), Andy Bates (Planning Decisions Manager), Kevin Tohill (Planning Decisions Manager), Dominic Millen (Transport Planning & Policy) and Duncan Creevy (Legal Services) Jane Creer (Secretary)

Also Attending: Approximately 11 members of the public, applicant and agent representatives
Dennis Stacey, Chair, Conservation Advisory Group
Councillor Alan Sitkin, Cabinet Member for Economic Regeneration & Business Development
Councillor Sarah Doyle, Bush Hill Park ward councillor

116**WELCOME AND APOLOGIES FOR ABSENCE**

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence were received from Councillors Barry, Chibah and Jemal.

117**DECLARATION OF INTERESTS**

There were no declarations of interest.

118**REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND
TRANSPORTATION (REPORT NO. 80)**

PLANNING COMMITTEE - 13.9.2016

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 80).

119

16/02840/FUL - 22 LUMINA WAY, ENFIELD, EN1 1FT

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposals and highlighting relevant policy.
2. The application was a departure from the local plan and as such should Members be minded to overturn the officers' recommendation, officers would have to carry out a further consultation to advertise the departure prior to issuing any decision.
3. Receipt of an additional 15 letters / emails of support for the development.
4. The deputation of Mr Chris Hicks (Director, RPS CgMs, the Agent) and Mr Vernon West (Go-Jump In Chairman, the Applicant).
5. The statement of Councillor Alan Sitkin (Cabinet Member for Economic Regeneration and Business Development).
6. Recent emails from residents and from Councillor Nick Dines had been circulated to Members.
7. Members' debate, and questions responded to by officers.
8. The majority of the committee did not support the officers' recommendation: two votes for and seven votes against.
9. In giving officers authority to grant planning permission, the item should be brought back to committee if there were issues arising from the further consultation to advertise the departure from the local plan.

AGREED that authority be delegated to officers to grant planning permission, subject to conditions, following further public consultation advertising the departure. Should this consultation raise objections which officers regard as preventing such a grant, they will report back to committee.

120

16/02041/HOU - 58 VILLAGE ROAD, ENFIELD, EN1 2EU

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposals.
2. The advice of the Transport Planning and Policy officer in respect of highway safety issues.
3. The deputation of Ms Nil Fevzi (the Applicant) and supporting photographs.

PLANNING COMMITTEE - 13.9.2016

4. The statement of Councillor Sarah Doyle (Bush Hill Park ward councillor) in support of the application.
5. Receipt of a written representation, circulated to Members, in support of the application from Councillor Lee Chamberlain, ward councillor.
6. Members' debate and questions responded to by officers
7. Councillor Savva on behalf of the committee, asked for his statement to be recorded that if a resident was in any doubt about a planning application they should consult ward councillors / officers before they commenced any work.
8. A majority of the committee did not support the officers' recommendation: three votes for, five votes against and one abstention.
9. In giving officers authority to grant planning permission, further discussion would be required with the applicant.

AGREED that authority be delegated to officers to grant planning permission, subject to conditions, following further discussions in relation to highway safety issues and the crossover.

121

16/02291/FUL - 17 GROSVENOR GARDENS, LONDON, N14 4TU

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposals, and background to the application.
2. Receipt of written representations and photographs from neighbouring residents, circulated to Members.
3. Members' debate and questions responded to by officers.
4. The unanimous support of the committee for the officers' recommendation.
5. The statement of the Chair that the committee expected the height reduction to be carried out, or the outbuilding to be removed.

AGREED that planning permission be refused for the reasons set out in the report.

122

16/03602/HOU - 291 LADYSMITH ROAD, ENFIELD, EN1 3AG

NOTED the unanimous support of the committee for the officers' recommendation.

AGREED that planning permission be approved subject to the conditions set out in the report.

PLANNING COMMITTEE - 20.9.2016

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 20 SEPTEMBER 2016**

COUNCILLORS

PRESENT Toby Simon, Dinah Barry, Derek Levy, Ahmet Hasan, Jansev Jemal, George Savva MBE, Jason Charalambous, Dogan Delman, Christine Hamilton and Jim Steven

ABSENT Anne-Marie Pearce and Katherine Chibah

OFFICERS: Bob Griffiths (Assistant Director - Planning, Highways & Transportation), Andy Higham (Head of Development Management), Andy Bates (Planning Decisions Manager), Dominic Millen and Linda Dalton (Legal Services) Stacey Gilmour (Secretary)

Also Attending: Approximately 10 members of the public, applicant and agent representatives
Dennis Stacey, Chair, Conservation Advisory Group

140

WELCOME AND APOLOGIES FOR ABSENCE

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence were received from Councillors Chibah and Pearce.

141

DECLARATION OF INTERESTS

There were no declarations of interest.

142

MINUTES OF THE PLANNING COMMITTEE 30 AUGUST 2016

AGREED the minutes of the Planning Committee meeting on 30 August 2016 as a correct record.

143

PLANNING COMMITTEE - 20.9.2016

REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 82)

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 82).

144

16/00500/FUL - 16 ARNOS GROVE, LONDON, N14 7AS

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposals.
2. The application was brought to Planning Committee as one of the applicants was former Councillor Ann Zinkin.
3. Members' debate and questions responded to by officers.
4. The unanimous support of the Committee for the officers' recommendation.

AGREED that planning permission be granted subject to the conditions set out in the report, and an additional condition requiring details of levels.

145

16/00763/FUL - COLLEGE OF HARINGEY ENFIELD AND NORTH EAST LONDON, 73 HERTFORD ROAD, ENFIELD, EN3 5HA

NOTED

1. The introduction by the Planning Decisions Manager, Andy Bates, confirming the proposals, and clarifying the objection of Sport England to the application.
2. Further to the suggested Sport England condition (No.7 on page 37 of the agenda pack) concerning the Community Use Agreement for the proposed MUGA the Council's Leisure Services Manager has suggested that an additional three points be included in that Agreement, namely:
 - Marketing and promotion ie. how the facilities would be advertised particularly to non-school users;
 - Booking procedure;
 - Any priority groups / discount schemes in place; to ensure that the facility is available to all residents.
3. A condition was required to secure the details (design, size, siting and minimum density) of an acoustic bund / barrier to limit the sound generated from the use of the site.

PLANNING COMMITTEE - 20.9.2016

4. A revised travel plan was sought with more details to demonstrate how the additional activity resulting from the use of the artificial pitch would not unduly impact on traffic and parking.
5. Members' debate and questions responded to by officers, with particular comments on minimising works to the existing bund if possible.
6. Members were fully satisfied that the sports ground had not been used for cricket in very many years, if ever, and assessed the conversion to an artificial-surfaced MUGA as of much higher priority for the sporting interests of the College community.
7. The unanimous support of the Committee for the officers' recommendation.
8. The matter would be referred to the Secretary of State as required by Sport England setting out the Committee's clear support of the proposal.

AGREED that following referral to the Secretary of State and no objections being received, planning permission be granted subject to the conditions set out in the report, with an update to Condition 7 to take account of views of the Leisure Services Manager, and an additional condition in respect of additional screening / planting.

146

16/02905/FUL - 46-48 LANCASTER AVENUE, BARNET, EN4 0ET

NOTED

1. The introduction by the Planning Decisions Manager, Andy Bates, clarifying the proposals.
2. The deputation of Mr Mark Pender, PPM Planning Limited (the agent for the applicant).
3. The response of Dr Mark Kent, on behalf of neighbouring residents in Lancaster Avenue.
4. Members' debate and questions responded to by officers.
5. The officers' recommendation was supported by a majority of the committee: 8 votes for and 1 abstention.

AGREED that planning permission be refused for the reasons set out in the report.

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MUNICIPAL YEAR 2016/2017 - REPORT NO **122**

COMMITTEE:
PLANNING COMMITTEE
18.10.2016

AGENDA - PART 1	ITEM 4
SUBJECT - MISCELLANEOUS MATTERS	

REPORT OF:
Assistant Director, Planning,
Highways and Transportation

Contact Officer:
Planning Decisions Manager
Andy Bates Tel: 020 8379 3004
Kevin Tohill Tel: 020 8379 5508

**4.1 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY
ADVERTISEMENTS DEC**

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 18th October 2016

Report of
Assistant Director, Planning,
Highways & Transportation

Contact Officer:
Andy Higham
Sharon Davidson
Ms Eloise Kiernan

Ward:
Winchmore Hill

Ref: 16/01062/FUL

Category: Full Application

LOCATION: 2 Derwent Road, London, N13 4PU,

PROPOSAL: Reconfiguration of 4 existing flats to form 1 x 1 bed and 2 x 2 bed self contained flats.

Applicant Name & Address:

Ms Jodie Desai
Newlon House
Hale Village
4 Daneland Walk
London
N17 9FE
United Kingdom

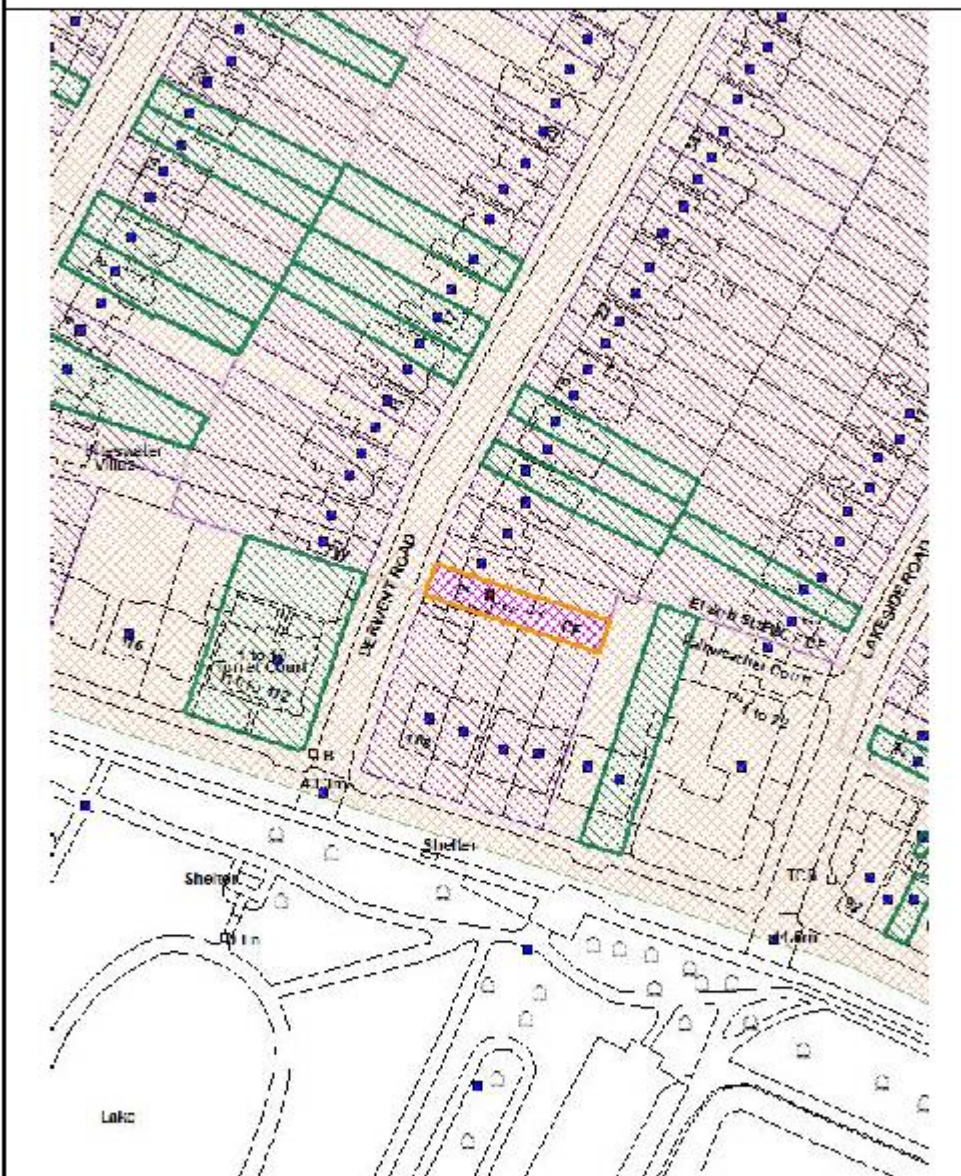
Agent Name & Address:

Mr Paul Meredith
Nicon House
45 Silver Street
Enfield
London
EN1 3EF

RECOMMENDATION:

Note for Members:

Ref: 16/01062/FUL LOCATION: 2 Derwent Road, London, N13 4PU,



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Scale 1:1250



1. Site and surroundings

- 1.1 The application site comprises a two storey semi-detached dwelling, which is situated on the eastern side of Derwent Road.
- 1.2 The street scene features a number of semi-detached dwellings of a similar design, age and character.
- 1.3 The site is not listed; however it is sited within the boundaries of the Lakes Estate Conservation Area.

2. Proposal

- 2.1 The applicant seeks full planning permission for the reconfiguration of four existing flats to form 1 x 1 bed and 2 x 2 bed self-contained flats.
- 2.2 The proposals include external changes to include a door and two windows in the flank elevation and a new front door as well as alterations to the front garden.
- 2.2 The site currently benefits from an existing consent for the conversion of house into four self-contained flats including the construction of a new side dormer and alterations to front, side and rear elevations (TP/91/1098).

3. Relevant Planning Decisions:

- 3.1 TP/91/1098 - Conversion of house into four self-contained flats including the construction of a new side dormer and alterations to front, side and rear elevations

4. Consultation

4.1 Statutory and Non Statutory Consultees

Friends of the Lakes Estate Conservation Area - Object for the following reasons:

- Vague proposals-not enough information submitted with application;
- Out of keeping with area-the design including concrete front path and rendering of external front and flank elevation are not appropriate;
- Information missing from plans;
- Heritage Statement inaccurate;
- Character Appraisal refers to loss of front driveways and therefore increased off street parking, cycle storage and bin stores and the use of tarmac and concrete all at the front of the property makes a bad situation even worse;
- If agreement is given to changes to the front garden area, then it should be based on a better more detailed plan, and materials consistent with the Conservation Area be conditioned-particular concern is raised in regards to the wall design and the surface (including path and steps) treatment;
- The number of residential units and bedrooms does not appear to match the detailed plans. It seems to list 1 x 1 bedroom flat for one resident, and 2 x 2 bedroom flats for 7 residents, however the form notes a proposal for 3 units in total. This may be correct but gives a misleading impression of the actual residential impact, which the Heritage statement notes as being a doubling of the number of individuals;

- Painting of walls is unacceptable;
- Object to the removal of decorative ridge tiles; and
- Further details are required in regards to joinery-windows and doors.

Estates - No comments

Conservation officer - No objections subject to further details and conditions

Thames Water - No objections

4.2 Public Response

Letters were sent to 37 adjoining and nearby residents on 21 April 2016. Six responses were received, which raised the following matters:

- Inadequate parking;
- Increase in traffic;
- Loss of parking;
- Noise nuisance;
- Out of keeping with area-the design including concrete front path and rendering of external front and flank elevation are not appropriate;
- Information missing from plans;
- Not enough information submitted with application;
- Heritage Statement inaccurate;
- Three separate units on site is excessive with potentially 8 people; and
- Increased number of units on site, which was original constructed and more suited as a single family dwelling

5. Relevant Policy

5.1 The Development Management Document (DMD) policies have been prepared under the NPPF regime to be NPPF compliant. The DMD provides detailed criteria and standard based polices by which planning applications will be determined.

5.2 The policies listed below are considered to be consistent with the NPPF and therefore it is considered that due weight should be given to them in assessing the development the subject of this application.

5.3 Development Management Document

DMD3:	Providing a Mix of Different Sized Homes
DMD5:	Residential Conversions
DMD6:	Residential Character
DMD8:	General Standards for New Residential Development
DMD37:	Achieving High Quality and Design-Led Development
DMD44:	Conserving and Enhancing Heritage Assets
DMD45:	Parking
DMD68:	Noise

5.4 Core Strategy

CP4:	Housing quality
CP5:	Housing types
CP25:	Pedestrians and cyclists
CP26:	Public transport
CP30:	Maintaining and improving the quality of the built and open environment
CP31:	Built and landscape heritage
CP32:	Pollution

5.5 London Plan

Policy 3.3:	Increasing housing supply
Policy 3.4:	Optimising housing potential
Policy 3.8:	Housing choice
Policy 3.9:	Mixed and balanced communities
Policy 3.14:	Existing housing
Policy 6.13:	Parking
Policy 7.4:	Local character
Policy 7.8:	Heritage assets

5.6 Other Policy

National Planning Policy Framework
National Planning Practice Guidance
The Lakes Estate Conservation Area Character Appraisal

6. Analysis

6.1 Principle of Development

- 6.1.1 The NPPF and London Plan advises that local authorities should seek to deliver a wide choice of high quality homes, widen opportunities for home ownership and create sustainable and inclusive and mixed communities. Policy 5 of the Core Strategy seeks to ensure that new developments offer a range of housing sizes to meet housing needs whilst ensuring that the quality and character of existing neighbourhoods is also respected.
- 6.1.2 Policy DMD5 of the Development Management Document is of particular relevance and relates to the conversions of existing units into self-contained flats and houses of multiple occupancy.
- 6.1.3 However, it is noted that there is an existing planning permission at the site for the creation of four residential units (TP/91/1098) and thus the loss of the single family dwelling and use as self-contained flats are acceptable on this basis. The site has since been designated as a Conservation Area in 2010 and thus the current proposal to reduce the number of units at the site and renovate the existing building is considered acceptable in principle, however, this position must be considered in relation to other material considerations such as providing an acceptable standard of accommodation, adequate internal floorspace and layout, appropriate off street parking; appropriate regard to residential amenity and ensuring that any external changes are appropriate to the Lakes Estate Conservation Area.

6.2 Impact on Lakes Estate Conservation Area

- 6.2.1 The property comprises a two storey Edwardian style dwelling circa 1905-1914, which is cited as a building which makes a positive contribution to the LakesEstate Conservation Area.
- 6.2.2 No. 2, Derwent Road forms part of a 'handed pair'. Stylistically the building is of red facing brick and render with clay roof tiles over. A canted bay window, with original leaded lights set in decorative stucco surrounds can be seen to front façade with tiled hipped roof over. The main entrance features a timber framed porch with tiles over, with a front door of panelled hardwood; half-glazed with raised and fielded panels beneath. A later box dormer and single rooflight exist to the front roof slope.
- 6.2.3 The Lakes Estate was developed over a short period, between 1904 and 1914 and is characteristic of middle-class Edwardian suburbia. The houses on the estate were mainly erected by small builders, following an established - and by 1900, essentially standardised - architectural pattern. The surrounding area retains its predominantly residential in character.
- 6.2.4 The majority of works are internal and include the reconfiguration and reduction of units approved under ref. TP/91/1098.
- 6.2.5 The key differences are the insertion of two additional windows and a door in the flank elevation as well as replacement front door and alterations to front garden.
- 6.2.6 The Lakes Estate Study Group have raised a number of objections to the proposed development, in particular, there was concern regarding the front garden and inadequate information, particularly in regards to the joinery.
- 6.2.7 Officers have sought to rectify the concerns of the Study Group and therefore have negotiated amendments during the determination process which now includes a chequered Edwardian pathway to be reinstated to the front elevation and an open porch to retain symmetry between the handed pair. Additionally, the access ramp and railings would be removed and a landscaping strip would be planted to the front garden, behind the boundary wall. This would enhance the overall appearance of the site from the front elevation and is supported by the Conservation officer.
- 6.2.8 Furthermore, in regards to the limited details relating to joinery, it is considered appropriate to attach conditions relating to windows and doors and all external materials, including hard surfacing, soffit and fascia, and rainwater goods.
- 6.2.9 The application plans specify concrete blocks and upvc rainwater goods and windows, which are not supported; however these could be removed from the application and replaced on a like for like basis to constitute development.

6.3 Unit Sizes

- 6.3.1 Policy 3.5 of the London Plan, as detailed in Table 3.3 stipulates the minimum space standards for new development. The proposed dwellings will be expected to meet and where possible exceed these minimum standards. The proposals will also be expected to meet the design criteria in the London Housing SPG.
- 6.3.2 For your information, the GIA excludes staircases, communal areas and any other area which is incapable of practical use. Additionally, each unit would need to be self-

contained and have rooms of an adequate size and shape and feature its own entrance, kitchen and bathroom accommodation.

6.3.3 The submitted floor plans indicate that the proposed ground floor flat (2b3p), first floor flat (2b4p) and second (roof) floor (1b2p) would have proposed floorspace of 68 sq.m, 74 sq.m and 50 sq.m.

6.2.4 These exceed minimum standards and the layout of each unit is considered acceptable, having regard to policy 3.5 of the London Plan.

6.4 Amenity space

6.4.1 DMD9 of the Development Management Document indicates that a 2b4p, 2b3p and 1b2p requires 7 sq.m, 6 sq.m and 5 sq.m of private amenity space.

6.4.2 The submitted floorplans indicate that the proposed garden is approximately 137 sq.m and the ground floor flat would have direct access from the rear elevation. Additionally the upper floor flats would have access by a shared passageway to the side elevation. This is the existing arrangement and is considered acceptable, having regard to Policy DMD9 of the DMD.

6.5 Traffic and Transportation

Parking

6.5.1 The site falls within a low PTAL of 2 with two parking spaces proposed on the front hardstanding. The London Plan standards specify one space per unit as a maximum and given this as well as the proposed mix of units, on balance, the parking arrangements are considered acceptable, having regard to policy 6.13 of the London Plan and DMD45 of the DMD.

Cycle Parking

6.5.2 The plans demonstrate cycle parking to the rear of the site; however details of numbers and type have not been included but could be secured by an appropriate condition, should the scheme be granted.

Refuse Storage

6.5.3 The details for refuse have not been annotated, however these details could be secured by an appropriate condition, should the scheme be granted, having regard to Policy DMD8 of the DMD.

6.6. Neighbouring Amenity

6.6.1 The properties most impacted on are the adjacent semi at no. 4 Derwent Road. The building is currently used as four separate units and thus the reduction to three self-contained units would not be detrimental to neighbouring amenities in regards to noise disturbance or associated activity and movements. The building would be retained for residential use within a residential area, which is considered appropriate.

6.6.2 There are minimal external changes to the building. These proposals relate to alterations to the external appearance and not increased footprint and thus the proposals would not be detrimental to neighbouring amenities in regards to loss of sunlight/daylight or outlook.

6.6.3 The proposed new openings to the flank elevation are at ground floor level and would not give rise to an unacceptable loss of privacy to adjacent occupiers.

6.7 Community Infrastructure Levy (CIL)

6.7.1 Mayors CIL

6.7.2 CIL Regulations 2010 (as amended) allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012 the Mayor of London has been charging CIL in Enfield at the rate of £20 per sum.

6.7.3 In this instance the development would not be liable for the Mayors or Enfield CIL as it does not create any additional units or floorspace.

7. **Conclusion**

7.1 The proposed development is acceptable as the residential use is appropriate within this location and results in a reduction in number of units. The proposed external changes would enhance the character and appearance of the Lakes Estate Conservation Area. Additionally, the proposal provides a suitable standard of accommodation with access to private amenity space and would not be detrimental to residential amenities.

8. **Recommendation**

8.1 In light of the above, it is therefore recommended that planning permission be granted with the following attached conditions:

1. C51 – Time limit
2. C60 – Approved plans
3. C08 – Matching materials
4. C19 – Refuse storage
5. C25 – No additional fenestration
6. C59 – Cycle storage
7. Prior to commencement of development, details of the proposed windows and doors at a scale of 1:20 (with 1:5 sections) including heads and cills shall be submitted and approved in writing by the Local Planning Authority. The details shall be implemented in accordance with the approved plans.

Reasons: In the interests of preserving and enhancing the character and appearance of the Lakes Estate Conservation Area.

8. Prior to commencement of development, details of all external materials, including soffit and fascia, hard surfacing, windows and rainwater goods shall be submitted to and approved in writing by the Local Planning Authority. The details shall be implemented in accordance with the approved plans.

Reasons: In the interests of preserving and enhancing the character and appearance of the Lakes Estate Conservation Area.

Plans

FRONT ELEVATION
SCALE 1:50

FLANK ELEVATION
SCALE 1:50

REAR ELEVATION
SCALE 1:50

GROUND FLOOR PLAN
SCALE 1:50

FIRST FLOOR PLAN
SCALE 1:50

SECOND FLOOR PLAN
SCALE 1:50

BLOCK PLAN
SCALE 1:500

Capital
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Project: Housing Assessment

Date: 21/05/2024

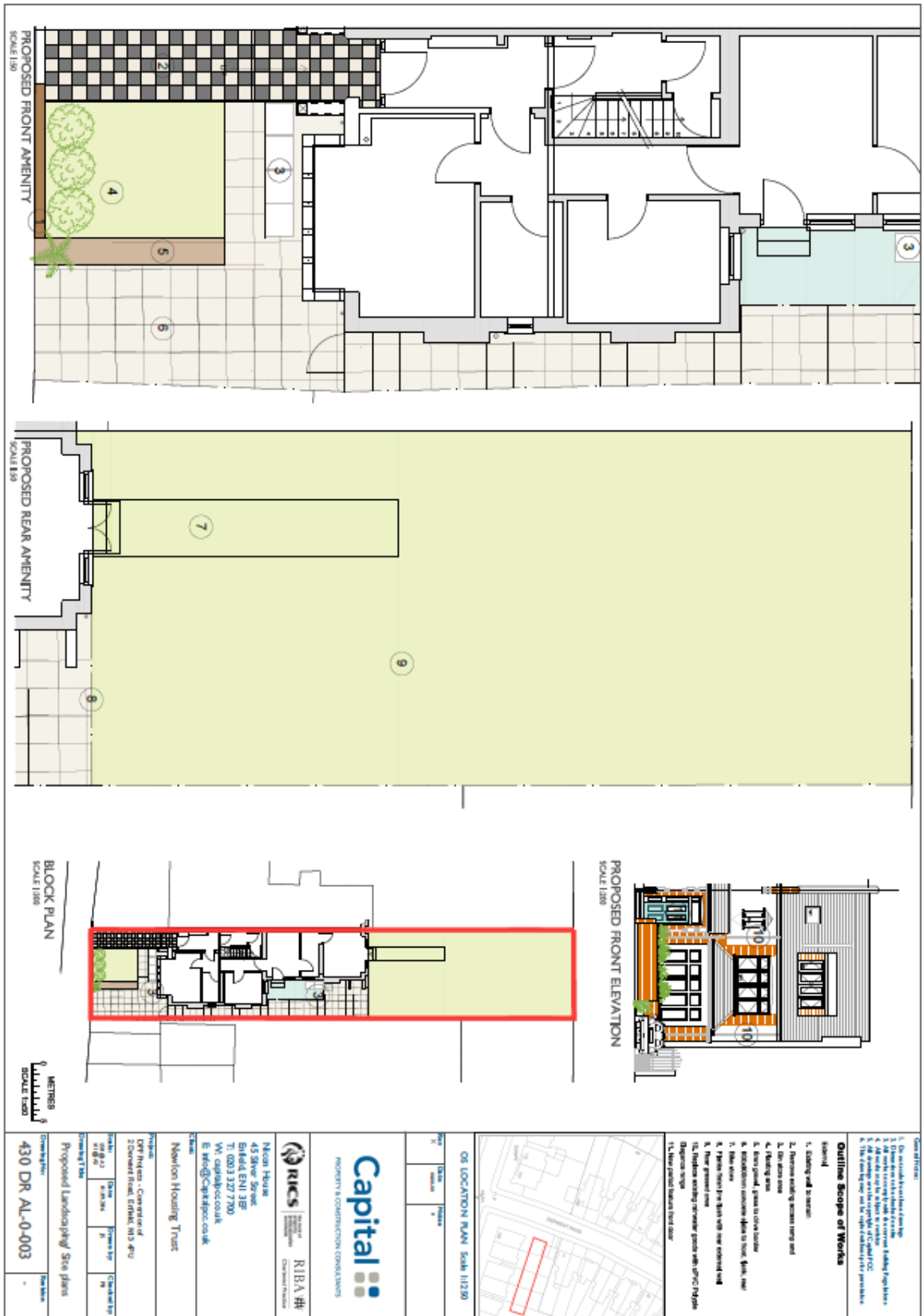
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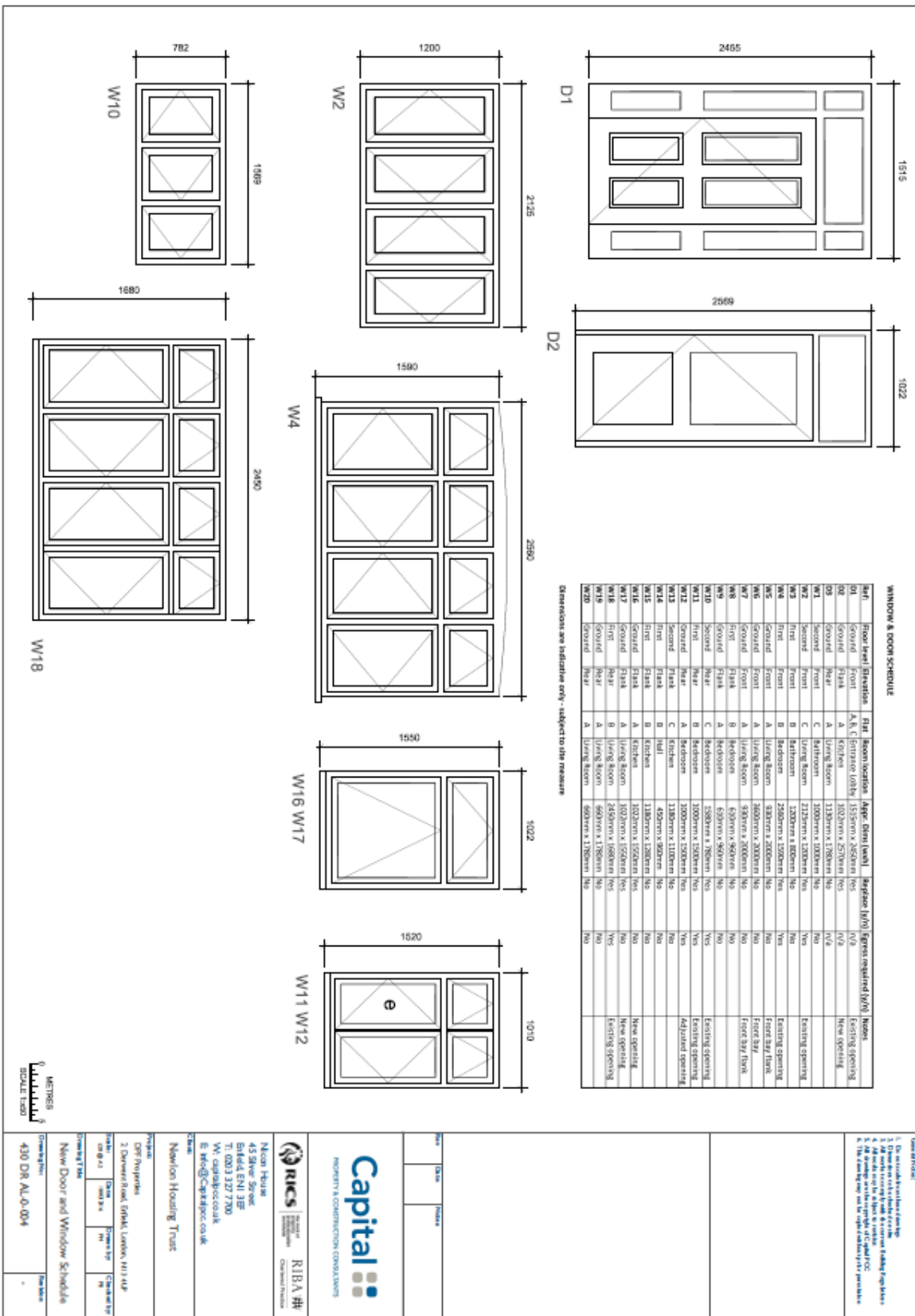
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DISLOCATION PLAN SCALE 1:500

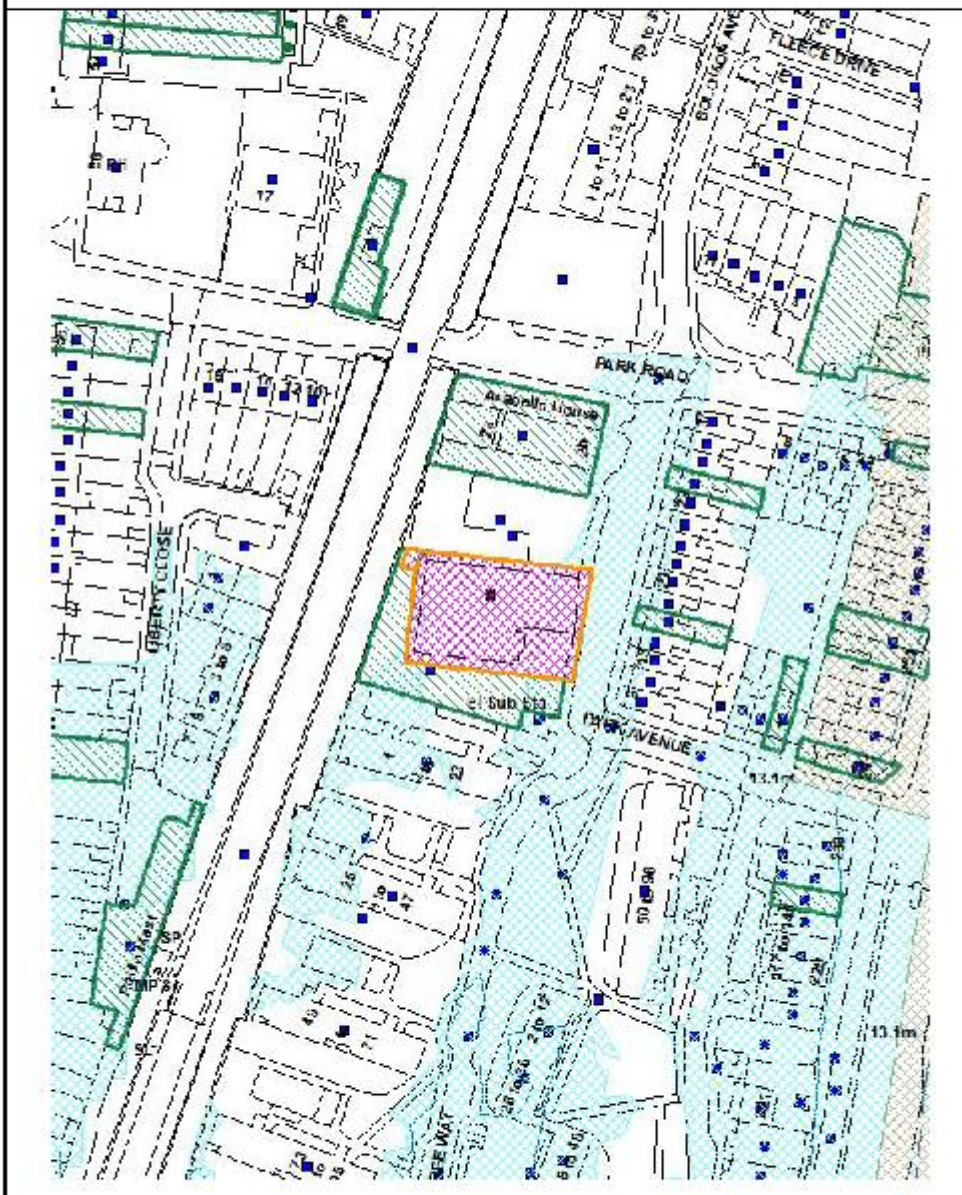




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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 18th October 2016
Report of Assistant Director, Planning & Environmental Protection	Contact Officer: Andy Higham Tel: 020 8379 3848 Kevin Tohill Tel: 020 8379 5508	Ward: Edmonton Green
Application Number 16/01561/FUL		
LOCATION: Deimel Fabric Co. Ltd, Park Avenue, London, N18 2UH		
PROPOSAL: Demolition of existing buildings and erection of part four, part five storey residential building to provide 24 x flats (comprising 10 x 1 bed, 10 x 2 bed and 4 x 3 bed flats) with green roof, associated parking and landscaping.		
Applicant Name & Address: Mr Glen Charles City and Suburban Homes 73 Highbury Park London		Agent Name & Address: Mr Ben Rogers Grade Planning 14 Great Chapel Street London W1F 8FL
RECOMMENDATION: That planning permission be GRANTED subject to conditions and completion of a S106 Agreement		

Ref: 16/01561/FUL LOCATION: Deimel Fabric Co Ltd, Park Avenue, London, N18 2UH



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Scale 1:1250

North



1. Site and Surroundings

- 1.1. Situated on the western side of Park Avenue, the application site covers an area of approximately 960sqm (0.096hec) in a rectangular shape and consists of 2 x original single-storey warehouse buildings with a hardstand used for parking and storage. The site is bound by the railway line to the rear, immediately adjacent to industrial buildings to the north and south. At present, the site is in use of a furniture factory.
- 1.2. Park Avenue is a predominantly residential L-shaped road of wide-ranging architectural character, with a series of 1-2 story industrial buildings and car mechanic garages along the west, a Victorian, 2-storey terraced row along the east and 3-4 storey residential blocks spread on the south.
- 1.3. The surrounding is essentially mixed in nature and is currently undergoing redevelopment. Two applications have been recently granted for the demolition of industrial units and provision of up to 20 flats, related to a corner plot between Park Avenue with Park Road and its north opposite site.
- 1.4. The site is disassociated to any listed buildings or a conservation area. As identified in the Core Strategy map, the site is neither situated within a Strategic Industrial Location, and nor in a Locally Significant Industrial Site.
- 1.5. Park Avenue is an unclassified road in the Edmonton area. The site has a PTAL rating of 5 and is not in a controlled parking zone (CPZ). The only controls on Park Avenue are for the protection of accesses to properties including waiting restrictions.

2. Proposal

- 2.1. The applicant seeks full planning permission for the demolition of the existing buildings on the site and the erection of a part 3 part 4 and part 5 storey building to accommodate 24 flats, comprising 10 x 1 bed (41.5%), 10 x 2 bed (41.5%) and 4 x 3 bed (17%), 7 of which will be affordable.

Scale and bulk

- 2.2. The proposed block is designed in 'T' shape, with the main block running parallel to Park Avenue and its fourth floor steeping in from the street frontage by 2m. The rear wing will project perpendicularly to the main block with its fifth floor set back from the main frontage by 6.8m. Vertical access is provided by a staircase and lift core, with circulation at upper floors by way of an open walkway system.
- 2.3. The overall scale of the proposed building will be 25m in width x 36m in depth x 16.1m in height above the street level.

Frontage and materiality

- 2.4. The proposed façade will be broken down more vertically, integrated with brick piers to replicate the rhythm of the terrace row opposite. The angled recesses within these piers will be treated in a contrasting brick, using variations in bricks. This variety of materials to these recesses will allow each individual unit to be identifiable and identify the front elevation as a three storey element. In addition, the. In order to reduce the mass of the façade, the

brick is proposed to be varied in its bond as so to reduce the mass of the façade.

Amenity

- 2.5. All the new flats will have a direct access to their own private outdoor amenity spaces via either balconies or roof terraces. In addition, 1 x communal garden is proposed at ground floor level, facing the south, while an elevated public garden is proposed on each floor, forming a green frontage to Park Avenue.

Access

- 2.6. Separate pedestrian and vehicular accesses are proposed. The vehicular entrance will be created under undercroft, via a secured gate. The main pedestrian access will be provided adjacent vehicular access, articulated within a distinctive metal clad section of the ground floor walls. A second pedestrian entrance will be integrated with the proposed secured gate.

Provision of parking and cycling

- 2.7. 12 x car parking spaces and 44 x secured cycle spaces will be provided within the site. The proposal also seeks the provision of 3 x on-street parking.

Refuse and bin Storage

- 2.8. The bin storage will house 6 x 1100L containers, runs perpendicular to Park Avenue. It will be located between the vehicular and pedestrian access and can be accessed internally for residents and externally for collection. The bin store will be serviced by kerb side collections.

Revisions

- 2.9. During the cause of consideration, the following amendments were undertaken so as to address the concerns raised.
- An increase in number of affordable units from 5 to 7;
 - Provision of a total 15 x car parking spaces, in place of the originally proposed parking stacker system;
 - A deduction in scale and massing via a further recession of the fourth floor, to reduce the visual impact when viewed from Park Avenue.

3. Relevant Planning History

- 3.1. TP/79/0457: Planning consent was refused in 1979 for office & toilets
- 3.2. AD/75/0093: Advertisement Consent was refused in 1975 for advertisement.
- 3.3. TP/72/0135: Planning consent was granted in 1972 for flats
- 3.4. TP/71/0236: Planning consent was granted in 1971 for builders sales
- 3.5. TP/71/0411: Planning consent was refused in 1971 for factory.
- 3.6. TP/70/1051: Planning consent was refused in 1970 for 2-storey office
- 3.7. TP/70/0006: Planning consent was refused in 1970 for vehicle centre

- 3.8. TP/69/1031: Planning consent was granted in 1969 for warehouse;
- 3.9. TP/69/1250: Planning consent was granted in 1969 for office extension
- 3.10. TP/69/0610: Planning consent was refused in 1969 for storage building
- 3.11. TP/65/0730: Planning consent was granted in 1965 for alterations + offices

4. Other Relevant Planning History

- 4.1. 10 Park Road (opposite to No.2a/2b Park Avenue): 4/02467/FUL: Erection of a four storey block comprising 18 self-contained flats (7 x 1-bed, 7 x 2-bed, 4 x 3-bed) with balconies, amenity area, associated access via Park Road and surface car parking. *S106 Granted with conditions 03.06.2015.*
- 4.2. 2A / 2B Park Avenue: 15/04736/FUL: Planning consent was granted for demolition of existing warehouse and erection of a part 3, part 4 storey block to provide 14 flats (comprising 4 x 3-bed, 7 x 2-bed flats), with associated cycle / refuse storage and landscaping.
- 4.3. 2 Park Avenue: TP/08/2271: Planning consent was granted for conversion of 4 x self-contained flats into self-contained supported living accommodation for 8 x residents with learning, mental and physical disabilities.
- 4.4. 2 Park Avenue: TP/07/1383: Planning consent was granted for conversion of mixed use premises (commercial and residential) to form 8 x 2-bed self-contained flats, involving new windows to front side and rear elevations (revised scheme, involving alterations to the roof to increase height by a maximum of 2.2m together with additional windows and doors to all elevations).
- 4.5. North Yard Rear, Park Avenue: TP/78/1565: Planning consent was granted for warehouse.

5. Consultation

Public Consultations

- 5.1. The 21 day public consultation period started on the 10th of May 2016 and concluded on the 31st of May. No comments were received.
- 5.2. The application was also advertised in the local paper, Enfield Independent, on the 18th of May, while 1 x Site Notice was put up on the 20th of May 2016 close to the site.

Internal

- 5.3. Traffic and Transportation – The scheme has been amended to remove the originally proposed parking stacker system which was not supported by the Transport Team, of which details are referred to Section 14 of the Report: 'Transport Impact'.
- 5.4. Environmental Health – The Environmental Health Officer does not object to the application for planning permission as there is unlikely to be a negative

environmental impact. In particular there are no concerns regarding air quality, noise or contaminated land.

- 5.5. Housing Development: Enfield's Core Policy 5 requires 40% of new housing to be affordable and a mix of tenures and sizes. On this basis, 10 of the units should be affordable and split 70:30 between rent and shared ownership. This equates to 7 for rent and 3 for shared ownership. The council's policy also requires 10% of the units, in this case 2, to be built to Stephen Thorpe/Habinteg wheelchair design standard.
- 5.6. Business Development: Due to size of development (+10 units) an employment and skills strategy as per s106 SPD is required.
- 5.7. Tree Officer: There are no significant arboricultural constraints. The proposed landscape plan appears to be sub-standard and inadequate.
- 5.8. SuDS Officer: As this development is classed as a major, according to the council's DMD Policy the development must achieve greenfield runoff and utilise SuDS in doing so in line with the London Plan Drainage Hierarchy.

External

- 5.9. Thames Water – informative only
- 5.10. Environment Agency – Details referred to Section 15 of the Report: 'Flood Risk Assessment'.
- 5.11. Metropolitan Police Service: The following comments were received:
 - External containers specifically designed for the secure storage of bicycles must be certificated to LPS 1175 SR1;
 - Internal communal bin and bicycle stores within blocks of flats must have no windows and be fitted with a secure door set that meets the same physical specification 'front door' and specifically Section 2a para.21.1 to 21.6 and 21.19 to 21.20. Ensures stores are only accessible to residents;
 - The locking system must be operable from the inner face by use of a thumb turn to ensure that residents are not accidentally locked in by another person. A bicycle store must also be provided with stands with secure anchor points or secure cycle stands; and
 - External bin stores should be sited in such a way that they cannot be used as a climbing aid to commit crime.

6. Relevant Policy

6.1. Development Management Document

DMD1: Affordable Housing on site capable of providing 10 or more units.

DMD3: Providing a Mix of Different Sized Homes

DMD6: Residential Character

DMD8: General Standards for New Residential Development

DMD9: Amenity Space

DMD10: Distancing

DMD37: Achieving High Quality and Design-Led Development

DMD47: New Roads, Access and Servicing

DMD49: Sustainable Design and Construction Statements
DMD50: Environmental Assessment Methods
DMD51: Energy Efficiency Standards
DMD64: Pollution Control and Assessment
DMD68: Noise
DMD69: Light Pollution
DMD76: Wildlife Corridors
DMD77: Green Chains
DMD78: Nature Conservation

6.2. Core Strategy

SO2: Environmental sustainability
SO4: New homes
SO5: Education, health and wellbeing
SO8: Transportation and accessibility
SO10: Built environment
CP2: Housing supply and locations for new homes
CP3: Affordable housing
CP4: Housing quality
CP5: Housing types
CP6: Meeting particular housing needs
CP8: Education
CP9: Supporting community cohesion
CP16: Taking part in economic success and improving skills
CP20: Sustainable energy use and energy infrastructure
CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
CP22: Delivering sustainable waste management
CP24: The road network
CP25: Pedestrians and cyclists
CP30: Maintaining and improving the quality of the built and open environment
CP32: Pollution
CP36: Biodiversity
CP46: Infrastructure Contribution

6.3. London Plan (2015)

Policy 3.3: Increasing housing supply
Policy 3.4: Optimising housing potential
Policy 3.5: Quality and design of housing development
Policy 3.6: Children and young people's play and informal recreation facilities
Policy 3.8: Housing choice
Policy 3.9: Mixed and balanced communities
Policy 3.10: Definition of affordable housing
Policy 3.11: Affordable housing targets
Policy 3.12: Negotiating affordable housing on schemes
Policy 3.13: Affordable housing thresholds
Policy 4.1: Developing London's economy
Policy 4.4: Managing industrial land and premises
Policy 5.1: Climate change mitigation
Policy 5.2: Minimising carbon dioxide emissions
Policy 5.3: Sustainable design and construction

Policy 5.7: Renewable energy
Policy 5.10: Urban greening
Policy 5.13: Sustainable drainage
Policy 5.14: Water quality and wastewater infrastructure
Policy 5.15: Water use and supplies
Policy 5.16: Waste self sufficiency
Policy 6.9: Cycling
Policy 6.13: Parking
Policy 7.2: An inclusive environment
Policy 7.3: Designing out crime
Policy 7.4: Local character
Policy 7.5: Public realm
Policy 7.6: Architecture

6.4. Other Relevant Policy

National Planning Policy Framework

6.5. Other Material Considerations

The Mayors Housing SPG (2012)
Section 106 Supplementary Planning Document (Nov.2011)
Enfield Strategic Housing Market Assessment (2010)
Waste and Recycling Storage Planning Guidance

7. Main Issues to be Considered

7.1. The main issues to be considered in respect of this application are:

- Principle of the development in terms of land use;
- Density;
- Design, Scale and impact on the character of the surrounding Area;
- Impact on neighbouring amenity;
- Standard of accommodation
- Proposed mix of units, including affordable housing;
- Amenity provisions;
- Traffic, parking and servicing Issues;
- Flood risk assessment;
- Impact on trees;
- Sustainability; and
- Planning obligations including affordable housing and other S106 Contributions and CIL (Community Infrastructure Levy).

8. Principle of the Development

8.1. The application site contains an existing single storey warehouse where is currently occupied by Gieffe Interiors London, specialist in manufacturing furniture. The unit benefits from employment spaces of approximately 623sqm under Class Use B8 which will be lost as a result of the development.

8.2. DMD 22 (Loss of Employment Outside of Designated Areas) states that proposals involving a change of use that would result in a loss or reduction of employment outside of Strategic Industrial Locations (SIL) or Locally

Significant Industrial Site (LSIS) will be refused, unless it can be demonstrated that the site is no longer suitable and viable for continued use employment use.

- 8.3. DMD 22 goes on to state that where the above can be demonstrated, a change of use will be permitted, provided that the proposed use would not compromise the operating conditions for other employment uses or the potential future use of neighbouring sites for employment uses. And mitigation for the loss of employment uses is provided in accordance with the Council's S106 SPD.
- 8.4. The submitted Commercial Viability Assessment Report states that the application site does not have facilities that modern manufacturing occupiers need, such as sufficient turning points for larger commercial vehicles, good eaves height, efficient loading / parking facilities, etc. Indeed, the property, together with the adjoining industrial units on this side of Park Avenue, can no longer be perceived as suitable for modern industrial or warehouse uses given its location that is surrounded by residential dwellings, restricted access and incompatible physical environment. It will be perceived as outmoded and no longer suitable for modern light manufacturing or storage businesses. It is also confirmed that the existing occupiers of the site are looking to relocated out of London.
- 8.5. The Report further states that if the site was to provide retail (A1), financial services (A2), restaurants, cafes and takeaways (A3 and A5) they would be reluctant to occupy such premises owing to the relatively dilapidated appearance of the site and neighbouring units. Traditional lockup shops are located within a retail parade or retail park where site specific requirements can be met such as main road frontages with some customer parking. Office (B1) occupiers demand in this part of Enfield is extremely limited as demonstrated by the lack of transactional evidence. As such, there is no limited commercial merit in redeveloping the site for the uses under Class A or Class B.
- 8.6. The application site is in a highly accessible location with a PTAL of 5 where additional housing is normally encouraged. Given the evidence provided and the site context, it is considered that the redevelopment of the site to residential would be the better use of the land, and compliance with the council's policies in terms of land use.

9. Density

- 9.1. Density assessments must acknowledge new guidance outlined in the NPPF and particularly the London Plan, which encourage greater flexibility in the application of policies to promote higher densities, although they must also be appropriate for the area.
- 9.2. Policy 3.4 (Table 3.2) of the London Plan sets standards for appropriate density levels with regards to location, existing building form, massing, and having regard to the PTAL (Public Transport Accessibility Level) score. According to the guidance in (Table 3.2) of the London Plan as the site has a site specific PTAL rating of 5 in an urban location, an overall density of between 200-700 hr/ha may be acceptable.

- 9.3. The proposal would provide 24 x flats totalling 90 habitable rooms within a land of approximately 0.1hec. The density of the proposed development, based on habitable rooms per hectare, would equate to approximately 937 hr/ha (90 / 0.096), which would be in excess of the recognisable density threshold for an urban area.
- 9.4. However, it must be noted that the criteria of density would not be a singular element and would be assessed alongside other planning requirements such as suitability of the site, scale of building/s and standard and quality of accommodation proposed. In this case due to the tightness of the site neighbouring amenity would also be a primary consideration. These issues will be referred to later in the report.

10. Scale, Design and Impact on the Character of Surrounding

Scale and Design

- 10.1. The residential properties along the north and east sides of Park Avenue are early 20th century, 2-storey pitched roof buildings, finished in brick or render and forming a terrace. The south side presents a different character with a number of 3 or 4 story residential blocks (Moree Way) with sheer pitched-roofs.
- 10.2. The proposed building would consist of two conjoined blocks in 'T' shape. The main block would run parallel to Park Avenue comprising three storey, with its fourth storey set in from the street frontage by 2m to reduce the verticality of its frontage.
- 10.3. The rear wing of the proposed building would follow the line of these residential blocks on Moree Way, providing a five-storey element. This element would be set back from Park Avenue by 6.8m, to further minimise the visual impact of this floor when viewed from Park Avenue and to respond the context of the train line.
- 10.4. The eaves height of the element of three storey along Park Avenue would be consistent with the roof ridgeline of the terrace row opposite and also broadly align with the nearby 3 -4 storey residential blocks at the south end of Park Avenue, on Moree Way. As the train embankment steps upward at the rear of the site, there is scope to increase the height of an additional floor to the rear without introducing an intrusive view from Park Avenue.
- 10.5. As such, the overall massing and scale of the proposed block is then considered to sensitively respond to the immediate context, which is acceptable.

Impact on the character of the surrounding

- 10.6. A characteristic of the existing site is the urban nature of the industrial units where are no longer be perceived as suitable for modern industrial or warehouse uses and urgently need redevelopment. As such, a key concept of the redevelopment of the application site is to establish a strong residential frontage on Park Avenue relating to the scale and residential nature of the street. It should not only have positive effect on the outlook on the opposite

row of terraced houses, but also allow the future development of the adjacent sites to form a continuation in frontage which hence would improve the quality of the street scene on Park Avenue as a whole.

- 10.7. The proposed elevation to the front would replicate the rhythm of the terrace row opposite, with brick piers / frames. The angled recesses within this frame will be treated in a contrasting brick, using variations in bricks. This variety of materials to these recesses will allow each individual unit to be identifiable and identify the front elevation as a three storey element.
- 10.8. A slim, vertical cladding system with contrasting and warmer material will wrap around the rear wing and extend to the fourth and fifth floors to the front to minimise the visual impact of these storeys when viewed from street level.
- 10.9. An elevated public garden is proposed to the front on each floor, so to improve the green image to the street view.
- 10.10. To secure these design elements, a set of conditions will be imposed to ensure all the design elements will be delivered to improve the character of the area.

11. Impact on Neighbouring Amenity

- 11.1. The immediate vicinity of the site does not contain any residential use. Given its local context, it is then considered that, from the perspective of neighbouring amenity, the proposal should be assessed against the closest residential properties, as well as whether or not the proposal would comprise the neighbouring amenity of future developments of the adjoining sites. As such, the more relevant policy on which the assessment on neighbouring amenity is based would be the council's adopted DMD 10: Distancing.
- 11.2. DMD10 requires new development should maintain a minimum distance of 11m between windows and side boundaries of buildings and of 25m between rear facing windows of two-storey building and three-storey building, so as to overcome the adverse impact resulting in housing with inadequate light or privacy for the proposed or surrounding development.
- 11.3. The closest residential blocks are Moree Way to the south, Arabella house to the north, and a row of two-storey pitch-roofed terraced row (No.9 – No.37 Park Avenue) opposite to the application site.

Neighbouring impact on closest residential blocks

- 11.4. Moree Way is a three-storey, pitch-roofed residential block comprising a number of flats with front windows facing the application site. By reason of the distance of 21m between these windows and the side boundary of the application site, it is not anticipated that the proposed development would adverse impact on the occupiers of this block.
- 11.5. Arabella House at No.2 Park Avenue has been recently granted for the installation of a part three storey part four story residential building with side windows to provide 8 x self-contained flats. The proposal would have a distance of 17m to these side windows, and thus would comply with the distancing requirements as set out in DMD10.

- 11.6. The terraced dwellings directly opposite to the application site are No.11 – No.19 Park Avenue which would therefore be most affected by the development proposal. The frontage of the proposed building would be set 500mm back from the pavement on Park Avenue, hence resulting in a separation distance of approximately 17.5 to 18m to the front elevation of the dwellings at Number 11-19 Park Avenue. The recessed 4th floor would represent a separation distance of 22m between the houses on Park Avenue.
- 11.7. The separation between the proposal and the affected Park Avenue properties is noticeably below the distancing requirement of 25m as set out in DMD10. However the Policy refers to rear windows and in this case the windows of the proposal would be looking out onto and across a public highway, of which impact in terms of overlooking is not considered significantly harmful to warrant a refusal. With regards to its dominance, a site visit noted of a separation of 17m between the front elevation of a terrace row at No.1 – No.7 Park Avenue and a four-storey residential building that is directly crossed the road. Given this established pattern of development in the locality, it is considered that whilst the new building would create an obvious additional dominance when viewed across the street, such an impact would not be a sufficient ground for a refusal. In addition to this it should be noted that the proposed building would not break a 25 degree line of sight towards the sky from the ground floor windows of the houses opposite on Park Avenue, therefore would be acceptable in principle from the perspective of Daylight and Sunlight BRE guidance.

Impact on future development of the adjoining sites

- 11.8. The proposal with side facing windows could have potential implications for development on the adjoining sites to both sides. In recognition of this, the proposed building is designated in 'T' shape, allowing a distance of more than 11m to the side elevations of future developments if they could follow a continuation of the proposed street frontage with a perpendicular massing parallel to that of the proposed development.
- 11.9. The application site is directly opposite to a row of dwelling houses of similar design era and appearance. After having analysed its local context, it is recognised that a continuation of the frontage in design unit on Park Avenue would strengthen the streetscape that would make a positive contribution to the redevelopment of the area. As such, the proposal is considered acceptable and that any privacy impact as a result of the proposed scheme on a future scheme to the rear would need to be addressed on any future submission via angled or obscured windows on that site.
- 11.10. In conclusion, all factors considered the proposal has an acceptable impact in terms of neighbouring amenity to all adjoining occupiers.

12. Quality of Accommodation

Quality of Accommodation

- 12.1. Policy DMD 8 of the Development Management Document, Policy 3.5 of the London Plan and the London Housing SPG seek to ensure that new

residential development is of a high quality standard internally, externally and in relation to their context. Policy 3.5 of London Plan specifically sets out the standards on minimum gross internal area (GIA) for different dwelling types.

- 12.2. The table below summarises the proposed schedule of accommodation against the requirements as set out in Policy 3.5 of London Plan.

Proposed Housing type	Proposed GIA	Minimum GIA by London Plan
10 x 1-bed flats (2 persons)	50-52sqm	50sqm
5 x 2-bed flats (3 persons)	61-64sqm	61sqm
5 x 2-bed flats (4 persons)	71-90sqm	70sqm
4 x 3-bed flats (4persons)	74-77sqm	74sqm
Total: 24 flats		

- 12.3. GIA and internal layout: All units are considered to satisfy the GIA requirements as set out in Policy 3.5 of London Plan. Having regards to the layouts of the proposed new flats, all units would have adequate resource for light and ventilation, and all room sizes are acceptable with specific regards to living/diners and single and double bedrooms.
- 12.4. Outlook: All upper floor units would be dual aspect onto the existing adjacent industrial premises, which raised concerns over their outlook. It is noted that the existing industrial units on this side of Park Avenue are undergoing redevelopment as they are no longer suitable for modern lighting and warehouses businesses. The council has received a number of interests in redeveloping these sites and encouraged the incorporation between these applicants. However, it must be acknowledged that it is unlikely to receive all the applications for the redevelopment of Park Avenue at the same time.
- 12.5. Overlooking: It is noted that 1 x upper floor flat on each floor located on the rear wing of the proposed block would be overlooked by people walking on the walkway. The proposed development is in 'T' shape, which would inevitably result in some units located on a walkway. It must be also acknowledged that such massing and diagram would ensure the unprejudiced development of the adjacent units, allowing a minimum distance of 14m and 7m from the site boundaries to the north and south, meanwhile maximizing the best use of the land. Having taken into account the confines of the site and numbers of flats to be affected (4 out of 24 flats), it is not considered the overlooking issue would be minimal and as such is considered acceptable.
- 12.6. Noise: The proposed development is adjacent to rail lines to the rear. A condition is imposed to ensure the scheme will implement the glazing as per the acoustic report by WSP in order to protect future occupiers from noise and disturbance from external sources.
- 12.7. Security: A condition is imposed for the details of security measurements to improve the security of future occupiers, including the ground floor flat R3.

- 12.8. In light with the above assessment, the quality of the proposed accommodation is considered acceptable.

Lifetime Homes

- 12.9. The London Plan and the council's Core Strategy require that all new housing is to be built to Lifetime Homes' standards. This is to enable a cost-effective way of providing adaptable homes that are able to be adapted to meet changing needs.
- 12.10. The submitted Planning Statement states that the scheme aims to deliver high quality of accommodation. The confirmation to deliver the Lifetime Homes will be secured via the imposition of conditions.

13. Proposed Housing Mix

- 13.1. Core Strategy Policy 5 seeks to ensure that new developments offer a range of housing sizes to meet housing need, and indicates that over the lifetime of the Core Strategy the Council will plan for the following borough-wide mix of housing, with an emphasis on the provision of suitable family units (over 3 – bedroom). DMD 3 and Policy 5 of the Core Strategy seeks new development to incorporate a mix of dwelling types and sizes to meet housing needs in the Borough with family sized accommodation (3 bed or larger) is the greatest area of need.

Affordable housing

- 13.2. Having regard to policies DMD1 and CP3 of the Core Strategy as the site is proposing 10 or more units (14) it should be complying with borough wide target of achieving 40% affordable housing and a mix of tenures to reflect a borough wide target of 70% social rent and affordable rent and 30% Intermediate. This would reflect 9 units on this site as affordable housing.
- 13.3. As part of the original submission the applicant has submitted a Viability Assessment that originally proposed 5 x shared ownership units (approximately 20% of all the units) to contribute on-site affordable units. This Viability Assessment was assessed by the councils' own independently appointed Viability Assessor and he considered that the scheme should be able to contribute 6 x affordable flats.
- 13.4. A further negotiation was carried out with the applicant, resulting in a successful agreement on the provision of 7 x affordable housing units, which equates approximately 30%. These would include 5 x ground floor units and 2 x first floor units (3 x 1-bed units and 4 x 2-bed units), all of which would be shared ownership units.
- 13.5. In recognition of difficulties in managing a sole block with various housing tenures, the proposed shared ownership to all these 7 units are considered acceptable.

Housing Mix

- 13.6. The development provides the following dwelling mix:

Housing type	Percentage required by Core Strategy	Proposed housing type	Proposed percentage
1-2 bed flats	20%	10 x 1-bed flats	42%
2 bed flats	15%	5 x 2-bed flats (3 persons)	21%
		5 x 2-bed flats (4 persons)	21%
3 bed flats	45%	4 x 3-bed flats	16%

- 13.7. Concern was then raised over the insufficient amount and size of family units proposed as part of the scheme. However, a justification has been given to this case, owing to the confines of the site and amendments made during the cause of consideration to include an increased number of affordable housing and a decreased massing and scale. The details are explicated as following.
- 13.8. The proposal was initially to provide 5 x affordable flats at ground floor level with direct access to rear gardens. A further negotiation with the applicant has successfully achieved an increased number of affordable units to 7, which equates approximately 30% of all units. All the affordable units have direct access to private outdoor amenity space, two of which have the benefit of being duplex units with a good level of private amenity space at 21sqm.
- 13.9. In order to mitigate the visual impact when viewed from Park Avenue, the proposal was amended to have its fourth floor set back much further from the front elevation. Having regard to the reduced floor space and numbers of flats that can be accommodated at each respective floor without impacting on the loss of another flat, it is unfeasibly to add additional family unit to the scheme.
- 13.10. Additional regards are also given to the scheme that there are 5 x 2-bed 4 person flats, two of which have a GIA at 90sqm, would feasibly accommodate family units. As such, the total number of family units as contributed by the development would broadly meet the requirements of 45% as set out in the DMD policies.

Wheelchair Access

- 13.11. The council's policy requires 10% of the units, in this case 2, to be built to Stephen Thorpe/Habinteg wheelchair design standard.
- 13.12. There are currently no wheelchair accessible units proposed as part of the development, however all 5 x ground floor flats are designed to adapt wheelchair access, therefore it is considered that this could be dealt with by an appropriate condition.
- 13.13. As such, the proposed housing mix under this scheme is considered acceptable.

14. Provision of Amenity Space

- 14.1. DMD 9 (Amenity Space) requires that new residential development must provide quality private amenity space that is not significantly overlooked by surrounding development and meets or exceeds the minimum standards of 9sqm for flats with access to communal amenity space
- 14.2. In terms of amenity space, each flat has access to a communal garden comprising approximately 93sqm, for the use of residents only.
- 14.3. In addition, all flats have in each case their own private amenity space in the form of terraces or balconies, all of which exceed the minimum requirements on amenity space as set out in DMD9. It is noted that some private amenity spaces are well above the minimum standards, including two ground floor affordable units which will benefit from 21sqm of private amenity space.
- 14.4. It is then considered that the amenity provisions proposed is acceptable and in accordance with DMD9.

15. Transport Impact

- 15.1. The council's traffic and transportation department (T&T) was invited to comment on the application and has provided the following comments:

Car Parking

- 15.2. Census data for LB Enfield gives car ownership information by number of bedrooms and tenure. This means that based on census data indicative car ownership for this development would be 15 vehicles at a ratio of 0.63 per unit.

<i>Number of Units and Bedrooms</i>	<i>Number of Vehicles</i>
3x1 bed	1.3
7x2 bed	5.1
4x3 bed	4.6

- 15.3. The proposal original proposed 16 x parking spaces for the 24 units (0.66 per unit), which would be provided in a two level stacker system. However, the proposed stacker system was not supported by the Transport Team.
- 15.4. The scheme has been amended to remove the stacker system, and provide a total of 15 x parking spaces (0.63 per unit) to include 12 x parking within the street and 3 x on-street parking on the kerbside of Park Avenue, front the proposed block, which the proposed ratio would meet the Census data for LB Enfield.
- 15.5. The Transport Team concerned the proposed on-street parking, as the area around the site is under continuing parking stress with limited on-street parking in high demand. This has been exacerbated by the introduction of yellow lines at the junction of Park Road and Fore Street which, while addressing issues of highway safety and free flow of traffic, has reduced the on-street car parking capacity. In addition there are no plans for a CPZ to be

introduced in the near future so any overspill parking cannot be readily constrained.

- 15.6. Notwithstanding the above, the Transport Team noted that the parking ratio within the site would be 0.5 (12 space for 24 units), which is still higher than the recently granted residential scheme at Park Road with a proposed parking ratio of 0.2 (four spaces for 18 flats). Similarly, the adjacent site at No. 2A – 2B Park Avenue has also recently had an application approved for a parking ratio of 0.42 (six spaces for 14 flats). Both these applications were approved, whilst parking was raised as a concern, in particular the cumulative impact of parking demand increasing from ongoing developments.
- 15.7. Having regard to the following additional facts, the Transport Team considered that the proposed level of parking provision is appropriate.
- The PTAL of the site is 5 which indicate relatively good access to public transport. This is mainly due to the frequent bus services available on Fore Street and the proximity of Silver Street station;
 - The proposal would provide 44 x secured cycle storage;
 - The applicant has agreed to provide S106 contributions, including for car club membership and cycling route improvements, with a view to mitigating unmet demand for car trips; and
 - The site will be exempted from any future Controlled Parking Zone.

Pedestrian Access

- 15.8. The London Plan Policy 6.10 and DMD47 require that all developments should make provision for attractive, safe, clearly defined and convenient routes and accesses for pedestrians, including those with disabilities.
- 15.9. The pedestrian access of the development is proposed via a secured pedestrian entrance into the block from the street, giving access to 23 of the flats via the ground floor corridor, entrance stairs or lift, as well as access to the ground floor communal garden area for all flats. Whilst it is noted 1 x ground floor flat (Flat 3) is accessed from the side, alongside the vehicular access route, the access arrangement for this flat is not considered to be a sufficient ground for refusal. On balance, the proposed pedestrian access is considered to be compliance with the policies.

Vehicle Access including servicing access

- 15.10. A separate vehicular entranceway will be created below the undercroft to provide access to the proposed parking area via a 1:29 ramp directly serviced on Park Avenue.
- 15.11. The Transport Team considered the location of the proposed vehicle access is acceptable. Swept paths have been provided to confirm transit vans can service the site off street.
- 15.12. Any larger vehicles, such as 8m box vans and refuse collection vehicles will service the site from the kerbside on Park Avenue. This is due to constraints imposed by the narrow footprint of the site and height restrictions below the undercroft at the site access. This kerbside servicing activity will be

undertaken at the site frontage immediately to the north of the proposed access. To ensure that adequate kerb-space is available for refuse collection vehicles, the proposal will introduce a short section of double yellow to the north of the proposed access. This is to ensure that infrequent deliveries undertaken by larger vehicles and refuse collection activities are able to stop adjacent to the site without blocking the carriageway on Park Avenue, and minimize the trolley distance between the vehicle and the building.

- 15.13. The Transport Team raised no objections to the proposed serving access.

Cycle Parking

- 15.14. The development would provide 44 x secure and accessible cycle parking, which complies with the minimum standards set out in the Further Alterations to the London Plan Table 6.3 and the guidance set out in the London Cycle Design Standards.

16. Flood Risk Assessment

- 16.1. The NPPF requires that a Flood Risk Assessment (FRA) be undertaken for all developments greater than 1 Hectare in size, or for any development located in Flood Zone 2 or 3.
- 16.2. The majority of the application site is located in Flood Zone 1, with a small portion located in Flood Zone 2, the extent of Flood Zone 2 is localised to the frontage along Park Avenue. Thus the Environment Agent (EA) was invited to comment on the FRA submitted by the applicant in support of the application.
- 16.3. The comments received from the EA dated on the 29th of June outlined that the NPPF Policies applied to this development include Paragraph 102 which states that for areas at risk of flooding a site-specific assessment must be undertaken which demonstrates that the development will be safe for its lifetime, and Paragraph 94 requires local planning authorities to adopt proactive strategies to adapt to climate change, taking full account of flood risk and coastal change.
- 16.4. The EA's comments further pointed out that the submitted FRA didn't provide a suitable basis for assessment to be made of the flood risks arising from the proposed development. In particular, the submitted FRA failed to use an appropriate method for calculating the design flood level with an allowance for climate change. Due to the scale of the development and the risk of flooding a more detailed method is required. The developer should use the intermediate approach and should be assessing the 25% peak river flow allowance. As such, the EA objected to the application.
- 16.5. An addendum was later submitted by the applicant to the EA so as to respond to the above issues. Further comments from the EA dated on the 21st of September 2016 confirmed that the EA are now satisfied that flood plain compensation is not required as the footprint of the new building is smaller than existing and the applicant has assessed the new climate change allowances, and provided the following advices:

The development as proposed would be subject to floodwater entering properties in a 1 in 100 chance in any year including an allowance for

climate change flood event. We would recommend that finished floor levels (FFL) for the proposed development are set 300millimetres above the 1 in 100 chance in any year including an allowance for climate change flood level, OR, where this is not practical, flood proofing measures are incorporated up to the 1 in 100 chance in any year, including an allowance for climate change flood level. This is to protect the proposed development and its users from flooding.

- 16.6. A set of amended drawings (Revision B) were submitted on the 28th of September stating that the ground floor FFL level of the development has been amended to be 520mm above the street level and 300m above the parking finished floor level, which is considered to have sufficiently met the EA's requirements of 300mm above the 1 in 100 chance in any year including an allowance for climate change flood level.
- 16.7. The EA recommended that an emergency evacuation plan should be formally submitted alongside the addendum to the Enfield Council to enable them to re-consult the EA. This will be secured via the imposition of a condition.
- 16.8. Having regards to the amendments that have been made to the FFL level, and subject to Conditions, the probability of flooding as a result of the proposed development is considered low.

17. Impact on Trees

- 17.1. The submitted Arboricultural Planning Report confirmed that the application site is predominantly buildings and hardstanding and there are no trees or significant vegetation within the curtilage of the site.
- 17.2. The predominant species of the tree resource adjacent to the application site are the self-set Sycamore trees, most of which are growing beyond the western boundary of the site on third party land and appears to have been no past management. Other species include Yew, Cherry and Holly forming a small group planting on the edge of the residential housing estate to the south. All five of the individual trees and two tree groups are awarded 'C' category status in relation to retention and are considered to be of low visual amenity / treescape/landscape.
- 17.3. The Report included that the proposal is unlikely to have significant impact on the roots of the adjacent trees due to unfavourable growing conditions / previous development, with root growth most likely concentrated away from the site along the adjacent embankment. Given the aforementioned there still remains some potential that roots may be encountered. Therefore, a condition (Tree Protection Plan) is recommended requesting the demolition and excavation works to be supervised at the appropriate site activity stages.
- 17.4. The council's Tree Officer was consulted on the proposal and confirmed that there are no significant arboricultural constraints as a result of the development, however, concerned that the proposed landscape plan appears to be inadequate.
- 17.5. A condition is therefore recommended requesting further details of proposed landscape to be approved prior to the commencement of the development.

18. Sustainable Design and Construction

18.1. The submitted Sustainability and Energy Statement outlines that the proposal has been developed in accordance with the desire to achieve a sustainable development via:

- Energy
- Overheating
- Air quality
- Waste
- Ecology

18.2. The details of each element are shown as following. Confirmation of these will be secured by the imposition of a set of conditions.

Energy efficiency

18.3. The London Plan adopts a presumption that all developments will meet carbon dioxide emission reductions that will improve upon 2010 Building Regulations, leading to zero carbon residential buildings from 2016. Policy 5.2 establishes a target for 2010-2013 to be a 25% improvement over Part L of current Building Regulations

18.4. The dwellings will be designed to achieve good levels of energy performance and will incorporate the following design features:

- Significantly exceed the minimum fabric requirements of Approved Document L1A of the Building Regulations 2013;
- All dwellings will include 100% low energy lighting;
- Heat will be supplied to each dwelling by individual gas-fired boilers;
- Mechanical Ventilation and Heat Recovery;
- The development could potentially be served by a solar PV system (Figure 3-2) located on the roofs supplying approximately 12,122 kWh of generation capacity annually (circa 140m²). This will not impact on the sedum roofs located on lower roofs in the proposed development;
- This along with the aforementioned fabric efficiency measures would allow the new build element of the development to meet a 35% reduction in carbon emissions compared to the minimum requirements of Part L 2013.

Overheating

18.5. Policy 5.9 of the London Plan requires major development proposals to reduce potential overheating and reliance on air conditioning systems. The strategy for minimising cooling demand in accordance with Policy 5.9 for the proposed development is as follows:

- 100% low energy lighting will be provided to reduce internal heat gains within the apartments;
- Mechanical ventilation and heat recovery.

Air Quality

18.6. The applicant has submitted a separate Air Quality Assessment Report which states that the application site is located in an area where the main influence

on local air quality is road traffic emissions and includes that the proposed development is considered to be a Negligible to Low Risk to dust deposition and Negligible Risk for human health impact.

- 18.7. The council's Environmental Health Officer was invited to comment on the submitted Report and raised no objection to the proposal.
- 18.8. The applicant must implement the glazing as per the acoustic report by WSP in order to protect future inhabitants from noise and disturbance from external sources. The acoustic report also states that there will be mechanical heat recovery ventilation at the development and this must also be installed so that future residents have an alternative means of ventilation to opening windows.

Waste

- 18.9. The council's Waste and Recycling Planning Storage Guidance (EN-08-162) requires that development involving the creation of over 20 units should provide 4 x 1100 litre bins per 20 properties for Refuse and 1 x 1280 litre bin per 20 properties for Recycling. These containers must be:
- Within 10 metres of the collection point;
 - Bins must be stored on a hard surface or in a storage cupboard;
 - Bins that are stored in a storage cupboard must be housed in chambers constructed in accordance with the British Standard Code of Practice BS 5906:1980 "Storage and On-Site treatment of solid waste from buildings"; and
 - Footpaths between the container housing and the nearest vehicular access should be free from steps or kerbs, have a solid foundation, have a smooth solid surface, be level and have a gradient no more than 1:12 and a minimum width of 2 metres.
- 18.10. The Submitted Site Waste Management Framework Plan indicates the provision of adequate coverage of waste generation during occupational phase. It will include an allowance for up to 6 bins within the plan as shown in plans in Figure 7-1, 5 refuse bins (900mm x 1,260mm) and one recycling bin (1,000mm x 1,280mm). This bin store is located close to entrance and within 11m of highway kerb. The bin store will be the responsibility of the management company and their managing agent. These arrangements are considered acceptable, and comply with the council's Guidance.

Ecology

- 18.11. The building present on the Site provides suitable habitat for nesting birds and the vegetated railway embankment adjacent to Site provides sub-optimal habitat for foraging and commuting bats, though is considered of low ecological value.
- 18.12. Recommended ecological enhancements for the proposed development include the provision of a large green roof which will provide a habitat for invertebrates' and include local flora. The site would also include enhanced nesting for birds through incorporation of bird boxes. Invertebrate boxes are also recommended to encourage a range of species at the site.

19. Planning Obligation

S106 Contributions

- 19.1. The proposal would result in the creation of more than 10 units, and therefore the S106 contributions are required. A negotiation was undertaken with the applicant and the following S106 contributions have been secured to include:

Highway S106 Contributions (Total: £27,400)

- £10k towards cycle route improvements;
- £15k towards pedestrian environment improvements, particularly focused on access to Silver Street station, bus services in Fore Street and the junction of Park Avenue with Park Road;
- One three year car club membership per unit and driving credit of £100 per membership (there are two car club bays within walking distance of the site);
- Removal of redundant crossovers and footway resurfacing in front of the site.
- Ineligibility of the proposed units from obtaining parking permits within any future CPZ in the immediate adjoining area.

Affordable Housing Contributions (total: 7 x shared ownership units)

Education Contributions (total: £52,231.54)

- 19.2. Having regard to policy CP46 of the Core Strategy and the councils S106 SPD, this application would also be required to provide education contributions towards local schools in the area.
- 19.3. The amended schedule would provide 10 x 1-bed, 10 x 2-bed and 4 x 3-bed. Thus, the total education contributions should be £52,231.54 (10 x £603.99 + 10 x £1,855.98 + 4 x £6,907.96), in accordance with the council's SPD document page 3

Monitoring Fee (total: £1,370)

- 19.4. The S106 Monitoring fees would amount to £1,370).

CIL (total: £57,224.81)

- 19.5. The proposed development is to provide 24 x units and thus would be liable to a Community Infrastructure Levy contribution. The existing building has a B8 floor space of 623sqm, and the new residential units will contain a total GIA of 1,519sqm. Based on a net additional floorspace figure of 896sqm, CIL calculations are:
- 19.6. The Mayoral CIL payment would be £20 x 896sqm x 271/223 = £21,777.22;
- 19.7. The Enfield CIL payment would be £40 (CIL Rate for Edmonton Area) x 896sqm x 271/274 = £35,447.59.

20. Conclusion

- 20.1. It is concluded that the proposed development would strengthen the character and appearance of the frontage on Park Avenue improving the quality of the surrounding, and provide high quality of accommodation to future occupiers while improving additional housing provision within the borough. The scheme would not create an adverse impact to neighbours amenity or create unacceptable impact to highway function and safety.
- 20.2. As such, approval is recommended, subject to the conditions outlined as below and the completion of an acceptable s106 Legal Agreement.

21. Recommendation

- 21.1. That planning permission be granted subject to conditions and signing of the s106.

Recommended Conditions:

Time Limited Permission

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

Approved Plans

2. The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

Material Samples

3. Prior to commencement of development above ground hereby approved, a sample panel and a schedule of materials to be used in all external elevations including walls, doors, windows front entrances and balconies within the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority before any building work commences and this condition shall apply notwithstanding any indications as to these matters which have been given in the application. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: In order to ensure that the building has an acceptable external appearance and preserves the character and appearance of the conservation area.

Material Drawings to be Approved

4. Detailed drawings to a scale of 1:20 to confirm the detailed design and materials of the:
- a. Schedule and sample of materials used in all elevations, should also include brick sample board (bonding and pointing);

- b. Details of all windows and doors at scale 1:10, windows shall be set at least 115mm within window reveal scale 1:10
- c. Details of balconies and balustrades
- d. Details of the glazing level of all external windows
- e. Construction details of all external elements at 1:20 scale (including sections). This should include: entrances and exits, masonry, weathering and flashings, and parapets, roof, plant and plant screening, health and safety systems.
- f. Full drawn details (1:20 scale elevations, 1:2 scale detailing) of the railings and gates (including hinges, fixings, locks, finials); and
- g. Details and locations of rain water pipes.

Shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development above ground hereby permitted. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: To safeguard and enhance the visual amenities of the locality

Construction Methodology

- 5. That development shall not commence until a construction methodology statement has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:
 - a. arrangements for wheel cleaning;
 - b. arrangements for the storage of materials;
 - c. hours of work;
 - d. arrangements for the securing of the site during construction;
 - e. the arrangement for the parking of contractors' vehicles clear of the highway;
 - f. The siting and design of any ancillary structures;
 - g. Enclosure hoarding details; and
 - h. A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition'.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

Details of Tree Protection Plan

- 6. Prior to the commencement of the development hereby approved (including all preparatory work), a scheme for the protection of the retained adjacent trees including a tree protection plan (TPP) and an arboricultural method statement (AMS) shall be submitted to and approved in writing by the local planning authority.

Specific issues to be dealt with in the TPP and AMS:

- a. Location and installation of services/ utilities/ drainage.

- b. Methods of demolition within the root protection area (RPA as defined in BS 5837: 2012) of the retained trees
- c. Details of construction within the RPA or that may impact on the retained trees
- d. Tree protection during construction indicated on a TPP and construction and construction activities clearly identified as prohibited in this area.
- e. Boundary treatments within the RPA
- f. Methodology and detailed assessment of root pruning
- g. Arboricultural supervision
- h. The method of protection for the retained trees

The development thereafter shall be implemented in strict accordance with the approved details.

Reason: In the interest of biodiversity, sustainability, and to ensure that a satisfactory standard of visual amenity is provided and maintained in accordance with policies.

Informative: British Standard BS 5837 2012 –Trees in Relation to Demolition, Design and Construction

Details of hard landscaping

- 7. Prior to the commencement of development other than the super structure, details and design of the hard landscaping and surfacing materials to be used within the development including footpaths, shared surfaces, access roads, parking areas, road markings and all other hard surfacing shall be submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

Details of Soft Landscaping

- 8. Prior to the commencement of development other than the super structure, details of trees, shrubs, grass and all other soft landscaping, including the proposed elevated public garden on each floor, to be planted on the site shall be submitted to and approved in writing by the Local Planning Authority. The planting scheme shall be carried out in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To provide a satisfactory appearance and ensure that the development does not prejudice highway safety.

Details of Refuse Storage

- 9. The development shall not be occupied until details of refuse storage facilities including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The

facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

Details of Cycle Storage

10. The development shall not be occupied until details of the siting, number and design of secure/covered cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

Energy Statement

11. The development shall not commence until a detailed 'Energy Statement' and relevant SAP calculations has been submitted and approved in writing by the Local Planning Authority. Submitted details will demonstrate the energy efficiency of the development and shall provide for no less than 11% total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs 2010 ensuring that standard conversion factor indicate that natural gas is the primary heating fuel. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

Final Energy Performance Certificate

12. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority prior to occupation of the development.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

Details of Design Out of Crime

13. Notwithstanding the details of the development, hereby approved, a detailed crime prevention management and maintenance strategy detailing how the development will minimise opportunities for crime including details

of a controlled access system, CCTV and external lighting shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of the development.

Reason: To ensure that the development protects community safety.

Security Measures to Flat R3

14. Prior to occupation of the development details of the security measures to serve the ground floor flat R3 shall be submitted to and approved in writing by the local planning authority.

Reason: In the interest of amenity and public safety.

No plumbing or Pipes to external

15. No plumbing or pipes, other than rainwater pipes, shall be fixed to the external faces of buildings.

Reason: To safeguard and enhance the visual amenities of the locality.

Details of Access

16. Prior to the commencement of development details of the redundant points of access and reinstatement of the footway shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented and permanently retained.

Reason: To provide safe and accessible linkages for pedestrians and cyclists and to preserve the interests of highway amenity.

SUDS 1

17. No development shall take place until an assessment has been carried out into the potential for disposing of surface water by means of a sustainable urban drainage scheme (SUDS), in accordance with the national planning policy guidance, and the results of that assessment have been provided to the Local Planning Authority. The assessment shall take into account the design storm period and intensity (1 in 100 and 1 in 1 year storm events); methods to delay and control the surface water discharged from the site; and measures to prevent pollution of the receiving groundwater and/or surface waters.

Reason: To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

SUDS 2

18. Surface water drainage works shall be carried out in accordance with details that have been submitted to and approved in writing by the Local Planning Authority before the development commences. Those details shall include a programme for implementing the works. Where, in the light of the assessment required by the above condition, the Local Planning Authority concludes that a SUDS scheme should be implemented, details of the works shall specify:

- a management and maintenance plan, for the lifetime of the development, which shall include the arrangements for adoption by

any public authority or statutory undertaker or any other arrangements to secure the operation of the scheme throughout its lifetime; and

- the responsibilities of each party for implementation of the SUDS scheme, together with a timetable for that implementation.

Reason: To ensure implementation and maintenance, and that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

Emergency Flood Plan

19. The development shall not commence until details of an Addendum alongside with an Emergency Flood Plan, including a safe means of access and/ or egress to in the event of flooding from all new buildings to an area wholly outside the floodplain, have been submitted to and approved in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details prior to its occupation.

To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere

Life Time Homes

20. All the units shall comply with Lifetime Home standards in accordance with details to be submitted to and approved in writing by the LPA. The development shall be carried out strictly in accordance with the details approved and shall be maintained thereafter.

Reason : To ensure that the development allows for future adaptability of the home to meet with the needs of future residents over their life time in accordance with Policy CP4 of the Core Strategy and Policy 3.5 of the London Plan 2011.

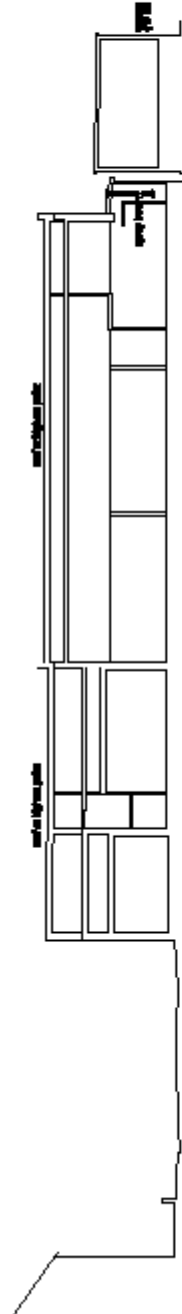
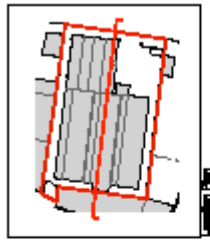
Boundary Treatments

21. The development shall not commence until details of the boundary treatments have been submitted to and approved in writing by the Local Planning Authority. The site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall be erected in accordance with the approved detail before the development is occupied.

Reason: To ensure satisfactory appearance and safeguard the privacy, amenity and safety of adjoining occupiers and the public and in the interests of highway safety.

Plans

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<p>The image is a detailed site plan or architectural drawing of a residential or commercial development. It shows several building footprints, streets, and parking areas. A specific rectangular area in the center of the plan is highlighted with a red border. The drawing is oriented vertically on the page.</p>					



Scale: 1/8" = 1'-0"

Building #1 - BT

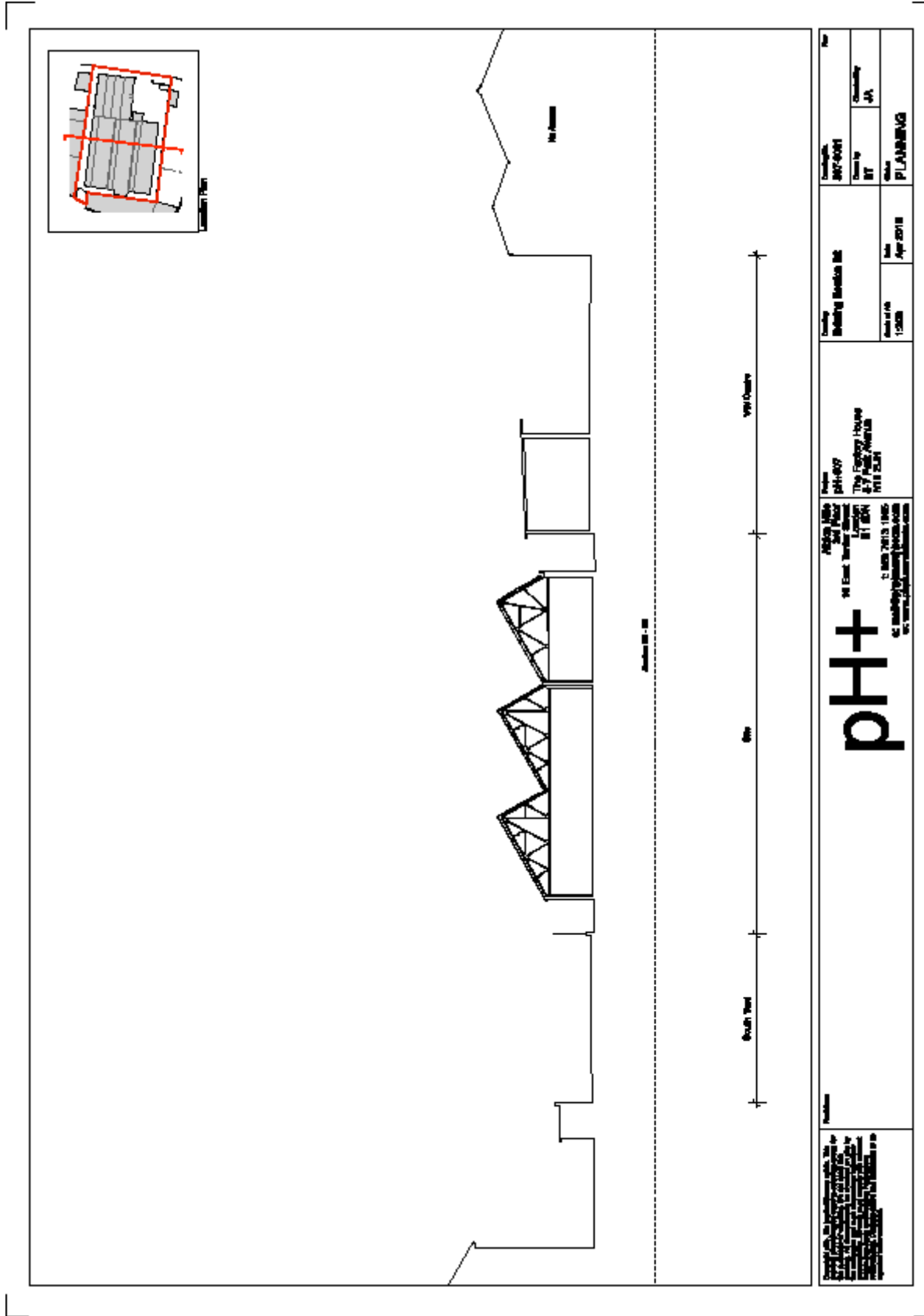
TF Park Ave Park Avenue South Third Building

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Project: Building Addition BT
 Date: Apr 2018
 Rev: 1.000

Drawing #: 2017-000
 Drawn by: BT
 Checked by: JA
 Scale: PLANNING



<p>PHH+</p> <p>PHH+ Architecture 2100 7th St. NW Seattle, WA 98107 Tel: 206.461.1111 www.phhplus.com</p>	<p>Project 2100 7th St. NW 2nd Floor 2100 7th St. NW Seattle, WA 98107</p>	<p>Architect PHH+ Architecture 2100 7th St. NW Seattle, WA 98107</p>	<p>Client The Ecology House 2100 7th St. NW Seattle, WA 98107</p>	<p>Project No. PHH-001</p>	<p>Project Name Building Section 02</p>	<p>Project No. PHH-001</p>	<p>Project Name Building Section 02</p>
	<p>Scale 1/8" = 1'-0"</p>	<p>Date Apr 2018</p>	<p>Phase PLANNING</p>	<p>Author PHH+</p>	<p>Reviewer PHH+</p>	<p>Project No. PHH-001</p>	<p>Project Name Building Section 02</p>

Architectural drawing showing a side elevation of a building with a gabled roof and a porch. A site plan inset in the top right corner shows the building's location on a lot. The drawing includes a scale bar and a north arrow.

Scale: 1/8" = 1'-0"

North Arrow

Architect: PHT+
 4025 1/2 Mile
 2nd Floor
 94 East 74th Street
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 Chicago, IL 60631
 Tel: 773.486.1100
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Project: PHT-007
 The Chicago House
 217 East 74th St
 CH 2018

Client: Building Block Movement
 207-000
 817
 CH

Date: Apr 2018
 Sheet No: 15008
 Title: PLANNING

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Drawings:
 A. SITE PLAN
 B. FLOOR PLAN
 C. SECTION
 D. ELEVATION
 E. EXTERIOR
 F. INTERIOR

PHH+
 Alison Mills
 18 East Tenth Street
 Denver, CO 80202
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Project:	The Factory House 17 Park Avenue N. DENVER
Client:	Corporate/OA Ground Floor Plan
Scale:	1:200
Date:	Apr 2008
Architect:	PHH+007
Address:	507-6200 B
City:	Denver
State:	CO

PLANNING



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Project The Factory House 57 Park Avenue N10 2EN	
Drawn Proposed 3A First Floor Plan	
Date of Job 12/01	Date Apr 2016
Architect PHH+07	Drawing No. B 507-0001
Designer SR	Checker JA
PLANNING	





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Drawings by:
 1. Date: 16/04/2016
 2. Date: 16/04/2016
 3. Date: 16/04/2016

Alison Mills
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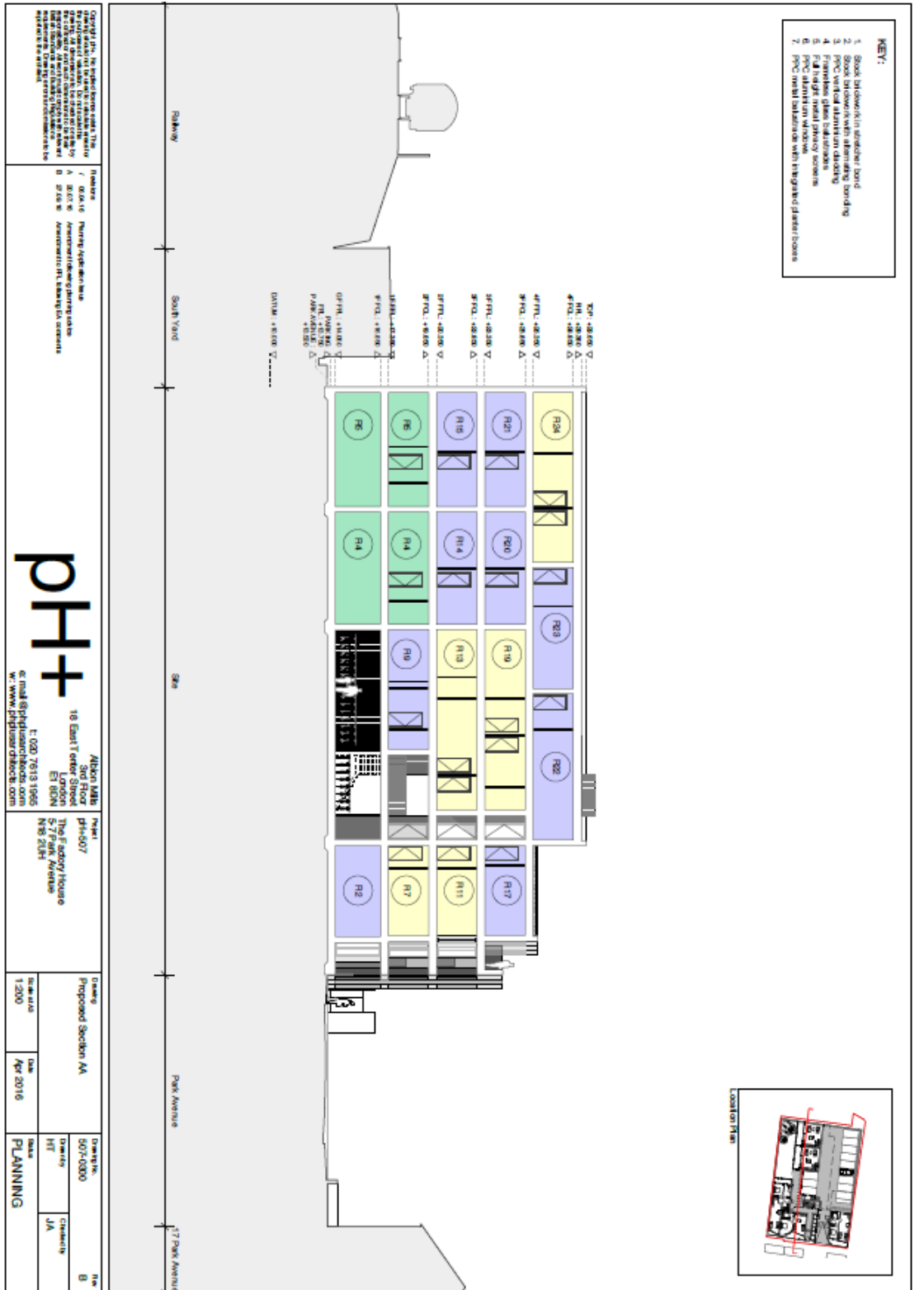
PH+

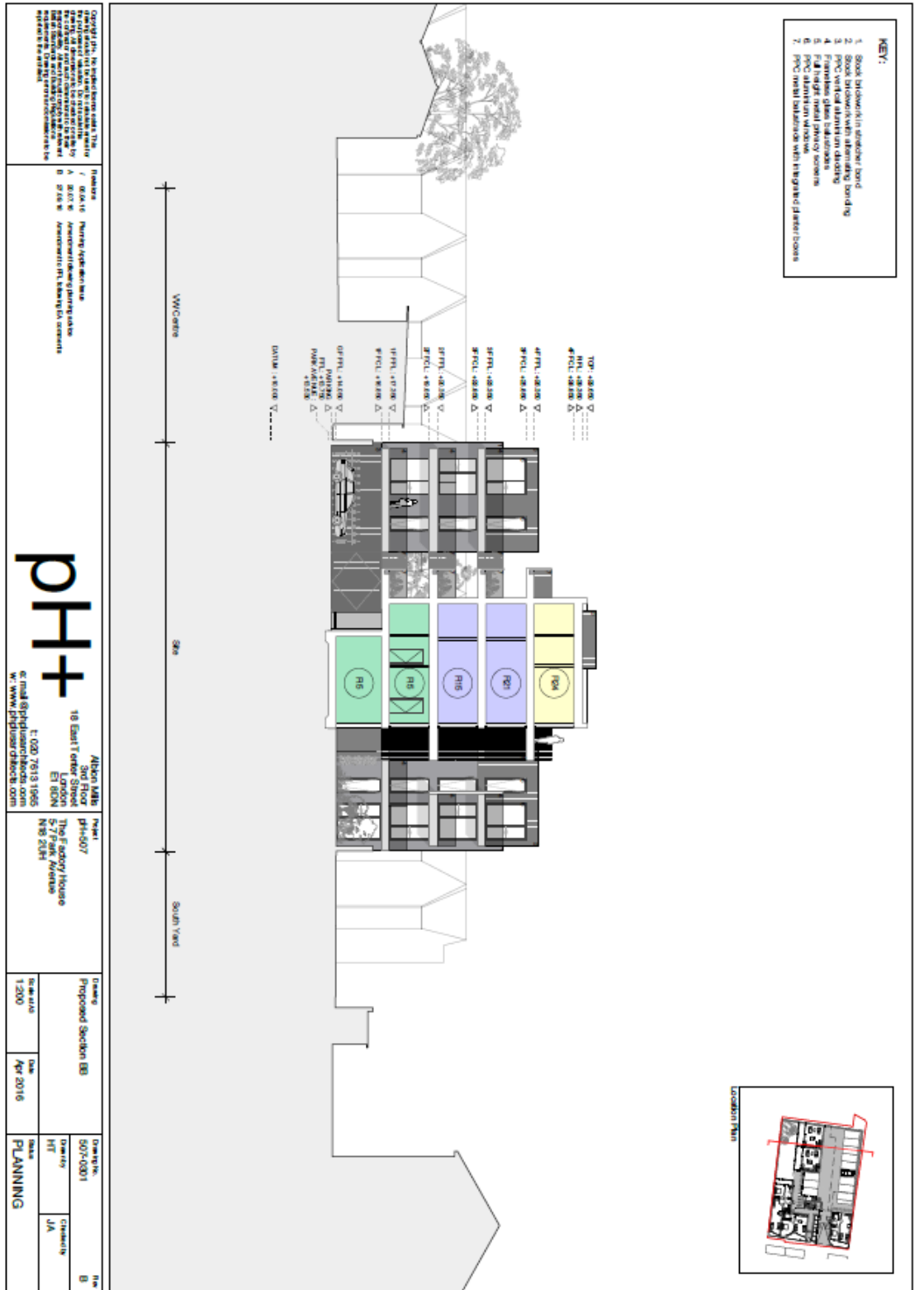
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 Etobicoke, ON

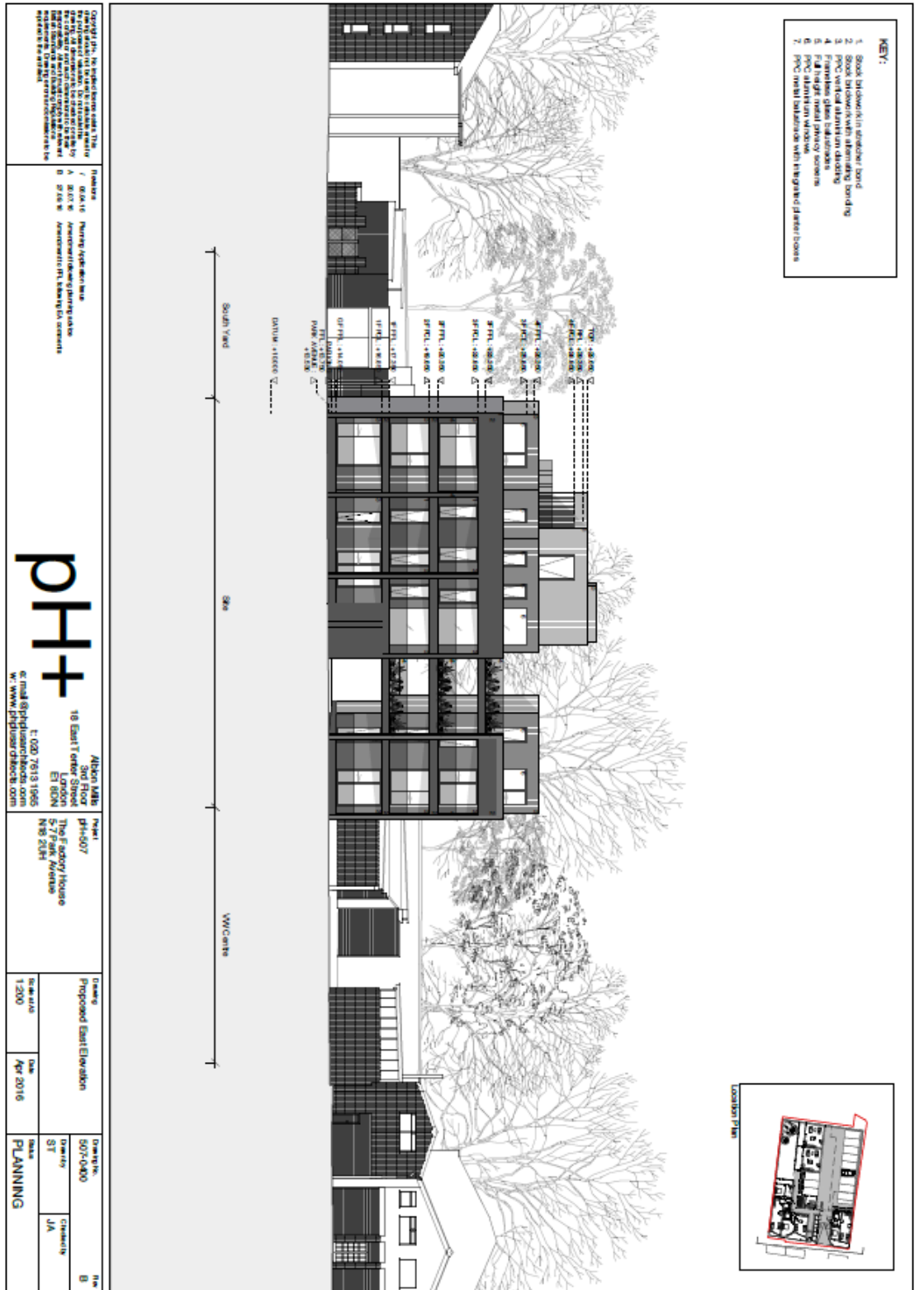
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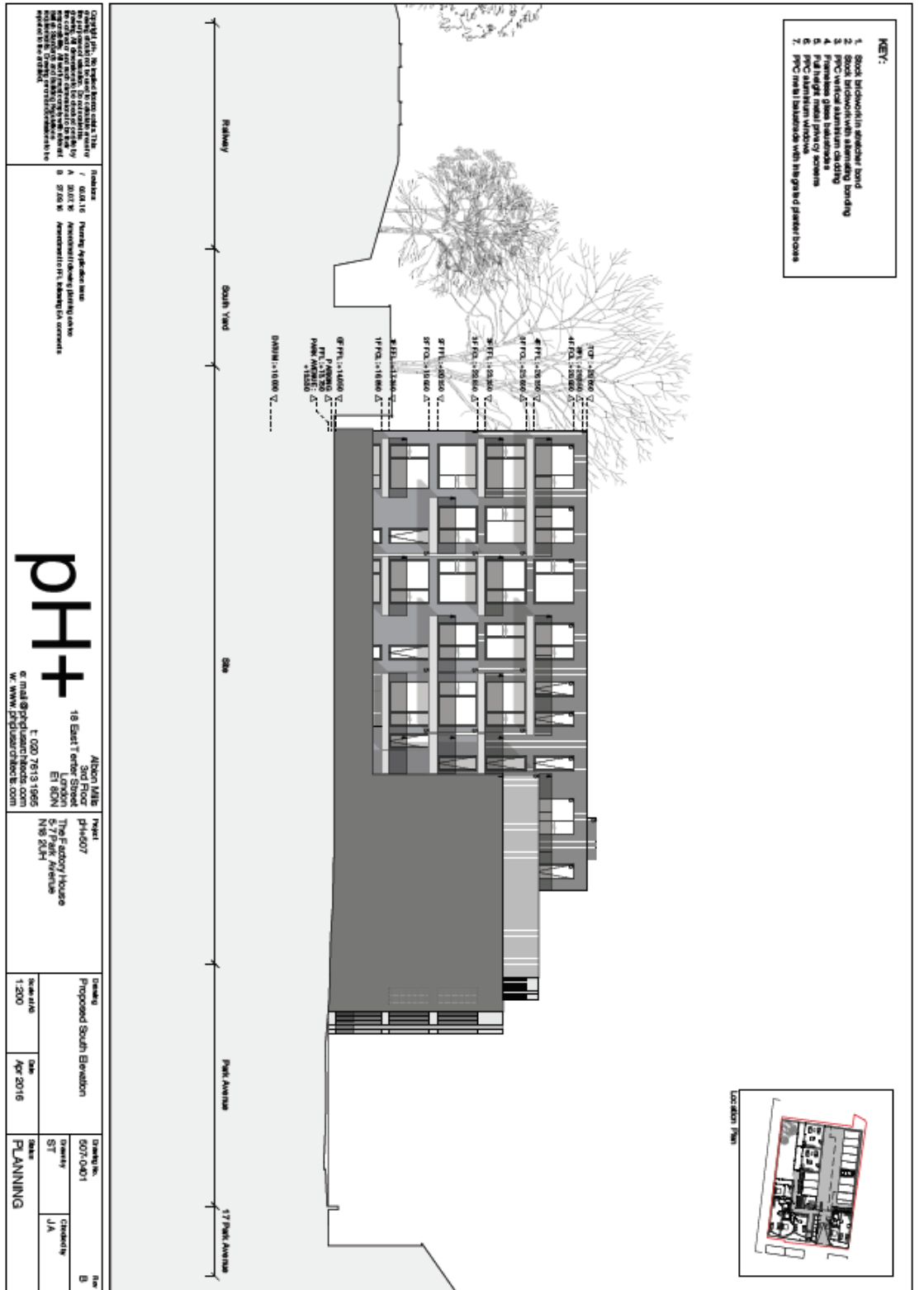
Issue #	Date
1300	Apr 2016
Author	Designer
PH+07	PH+07
ST	JJA

PH+
 PLANNING









LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 18 October 2016

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham
Andy Bates
Ms Kate Perry

Ward:

Ref: 15/05078/HOU

Category: Full Application

LOCATION: 2 Masons Road, Enfield, EN1 3AG

PROPOSAL: Part single, part 2-storey rear extension and a 2-storey side extension.

Applicant Name & Address:

Agent Name & Address:

N/A

RECOMMENDATION:

That planning permission be **APPROVED** subject to conditions.

Note for Members:

Applications of this nature would normally be considered under delegated powers but the applicant is a member of staff at the Council within the Planning, Highways & Transportation Division and is therefore brought to the Planning Committee for consideration.

Drawing numbers:

1.0 Site and Surroundings

- 1.1 The application site is a rectangular plot that comprises an end of terrace two storey dwelling on the western side of Masons Road, to the north of the junction with Elsing Road. The character of the area is suburban, with a regular pattern of terraced residential properties.
- 1.2 The application site is not located within a Conservation Area and the building is not listed.

2.0 Proposal

- 2.1 The application seeks planning permission for a part single, part 2-storey rear extension and a 2-storey side extension. An existing single storey structure to the rear of the site would be demolished to accommodate the proposed development. The property benefits from an existing rear dormer window.
- 2.2 The two storey side extension would be built along the full length of the property, extending 3.0 metres beyond the rear of the existing house. It would have a total length of 10.0 metres. At first floor level the side extension would be set in from the side boundary by 0.5 metres. It would be 3.0 metres in width at ground floor and 2.5 metres at first floor level. The extension would have a gable ended roof to reflect what is around, but the two storey rear element will have a hipped roof treatment for design and visual impact reasons. The submitted plans indicate that the erection of this extension would require works to take place to the existing dormer window resulting in a reduction in the width of the feature.
- 2.3 The proposed single storey rear extension would measure 3.0 metres in depth, built to the boundary with No.4.

3.0 Relevant Planning History

- 3.1 15/04138/HOU-Erection 2 storey side extension, part single, part 2 storey rear extension, additional fenestration to side, front porch including side and rear dormers. The proposal was withdrawn 3 November 2015.

Officers raised a number of issues with the proposal at that time, including:

- Side dormers not acceptable in design terms.
- Windows along the boundary.
- Insertion of new front entrance door.
- Height along the boundary resulting in impact on residential amenity.

The applicant agreed to withdraw and to resubmit a revised design which hopefully addressed the above issues.

4.0 Consultations

4.1 Public response

- 4.1.1 Letters were sent to a total of 21 adjoining and nearby residents advising them about the application. No comments have been received.

5.0 Relevant Policy

5.1 London Plan (2016)

Policy 7.4 - Local character
Policy 7.6 – Architecture

5.2 Core Strategy (adopted October 2010)

CP30 - Maintaining and Improving the Quality of the Built and Open Environment

5.3 Development Management Document (adopted November 2014)

DMD8 - General Standards for New Residential Development
DMD11 – Rear Extensions
DMD14 – Side Extensions
DMD37 - Achieving High Quality and Design-Led Development

5.4 Other Material Considerations

National Planning Policy Framework
National Planning Practice Guidance

6.0 Analysis

Design and Impact on Street Scene

- 6.1 Policy CP30 of the Core Strategy requires new development to be of a high quality design and in keeping with the character of the surrounding area. This is echoed in Policy DMD8 which seeks to ensure that development is high quality, sustainable, has regard for and enhances local character; and also Policy DMD37 which sets out criteria for achieving high quality and design led development.
- 6.2 Policy DMD14 seeks to ensure that extensions to the side of existing residential properties do not assist in creating a continuous façade of properties or a terracing effect out of character with the street scene. A minimum distance of 1 metre is normally required to be maintained between the flank wall of a side extension and the site boundary of the property. The policy states that a greater distance may be required depending on the size and nature of the residential plots and to prevent adverse impacts on the street scene. This is to prevent the creation of a terracing effect which has a detrimental impact on the character of the street.
- 6.3 Masons Road is a residential road that comprises a regular pattern of two storey terraced residential properties and No.2 is an end of terrace dwelling with the rear gardens of Elsing Road properties immediately adjacent to it. Therefore, the concern about any side extension creating a terracing effect in the wider streetscene is not relevant here. Instead, the visual impact of the two

storey addition in a relatively prominent location needs to be considered. In this case, a combination of the first floor set in, the continuation of the gable roof form and the space that would be retained between buildings would mean that the proposal would not have an unacceptable impact on the established streetscene. The proposal would not result in a continuous built form to the detriment of the visual amenity

- 6.4 The two storey rear element would project beyond the rear of the building and have a hipped roof incorporated into it. The submitted drawings show the existing dormer window reduced in scale in order to allow the first floor element of the proposal to be attached to the roof as a separate feature. This is considered to be an acceptable approach.
- 6.5 Policy DMD11 requires that single storey rear extensions to terrace dwellings do not exceed 3 metres in depth from the original rear wall of a dwelling and do not exceed 4 metres in height when measured from the ridge and 3 metres at the eaves. The proposed single storey rear extension has been designed to accord with these policy requirements and it is considered that the proposal would not result in any significant harm to the character and appearance of the existing dwelling or the pattern of development in the area.
- 6.6 The erection of the side extension results in the need for an additional first floor window in the front of the property to serve an existing room. This creates no issues in terms of the character of the area, in general, or the property, in particular.

Impact on Residential Amenity

- 6.7 Any new development should not impact on the residential amenity of neighbouring residents. Policies 7.6 of the London Plan and CP30 of the Core Strategy seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity. Policy DMD8 states that new developments should preserve amenity in terms of daylight, sunlight outlook, privacy, overlooking, noise and disturbance.
- 6.8 The two storey side extension would be sited to the rear of the gardens in Elsing Road. It would be a total of 10.0 metres in length and would fill the space that currently exists between No.2 and the side boundary. In these circumstances it is inevitable that there will be an impact on the outlook of people living nearby. This outlook will benefit from the fact that the first floor element is set off the boundary, assisting in breaking up any sense of dominance that a wall of this size might create. The adjacent gardens are considered to be long enough to further mitigate any unacceptable impact.
- 6.9 As explained above, Policy DMD11 requires that single storey rear extensions to terrace dwellings do not exceed 3 metres in depth from the original rear wall of a dwelling and do not exceed 4 metres in height when measured from the ridge and 3 metres at the eaves. The proposed single storey rear extension would comply with policy requirements in terms of the height and depth of the extension and would therefore not result in any demonstrable harm to neighbouring residential amenity at No.4.

CIL

- 6.9 The proposed development would not be CIL liable because the extension would not exceed 100sqm.

7.0 Conclusion

- 7.1 The proposed development would not result in any demonstrable harm to residential amenity or the character and appearance of the existing dwelling or the surrounding area. The proposed extensions have been designed to comply with adopted planning policies and are, therefore, an acceptable form of development.

8.0 Recommendation

That, PLANNING PERMISSION BE GRANTED subject to the following conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: In pursuance of Section 91(1) of the Town and Country Planning Act 1990 and as amended by the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The external finishing materials shall match those used in the construction of the existing building.

Reason: To ensure a satisfactory appearance.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

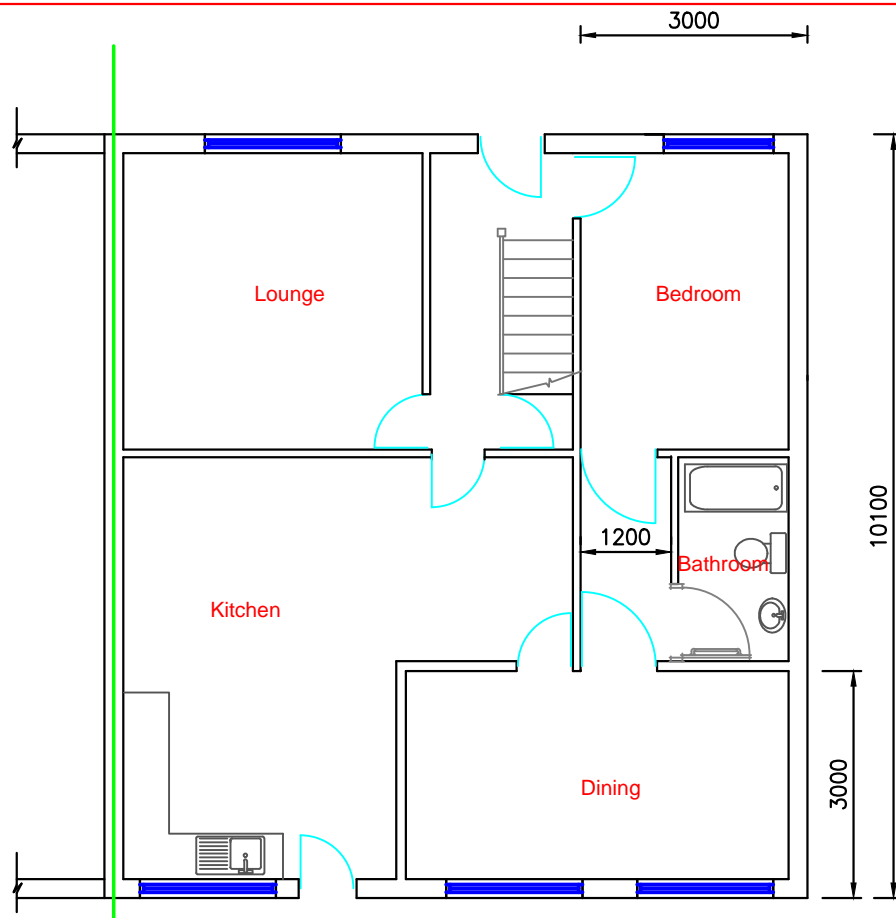
Reason: To safeguard the privacy of the occupiers of adjoining properties.

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, or any amending Order, no balustrades or other means of enclosure shall be erected on the roof of the extension(s). No roof of any part of the extension(s) shall be used for any recreational purpose

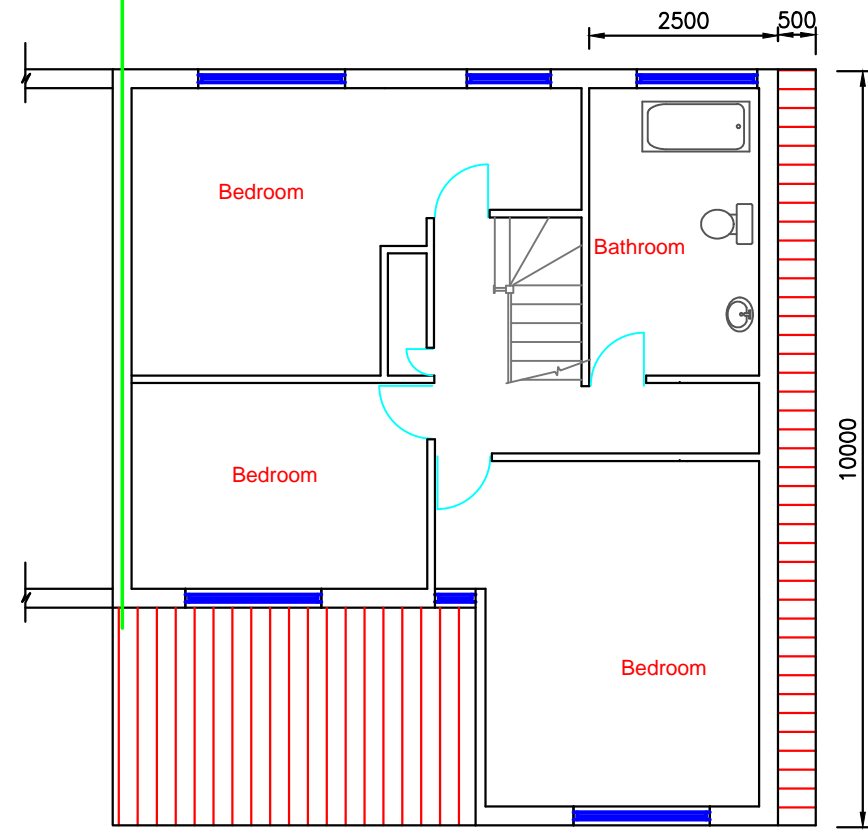
and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

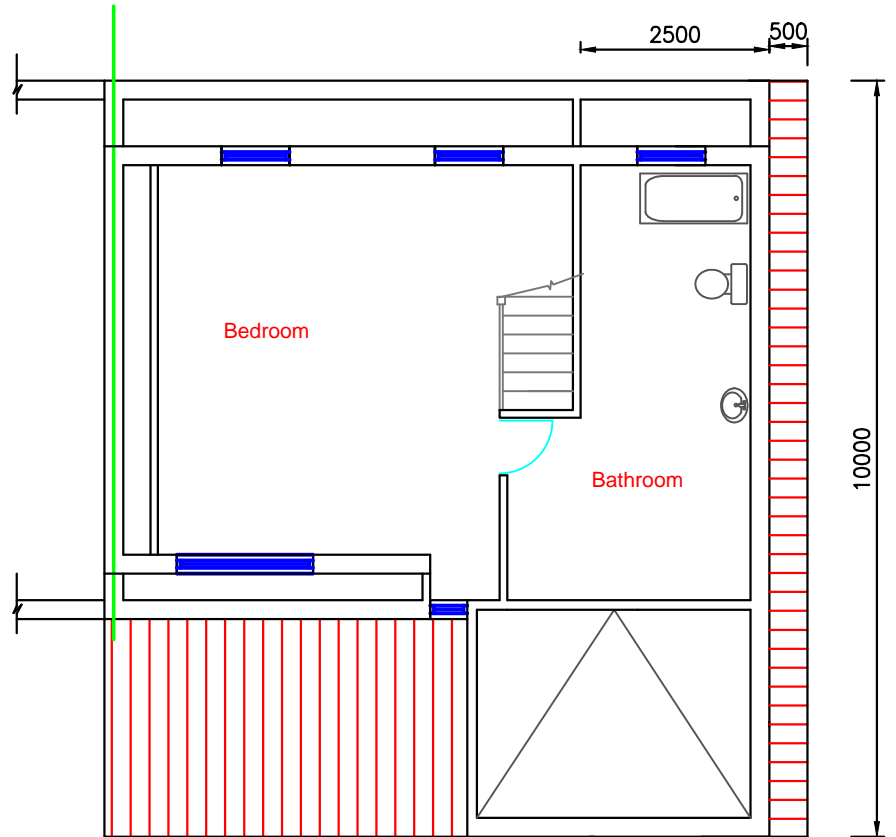
Masons Road



Proposed Ground Floor

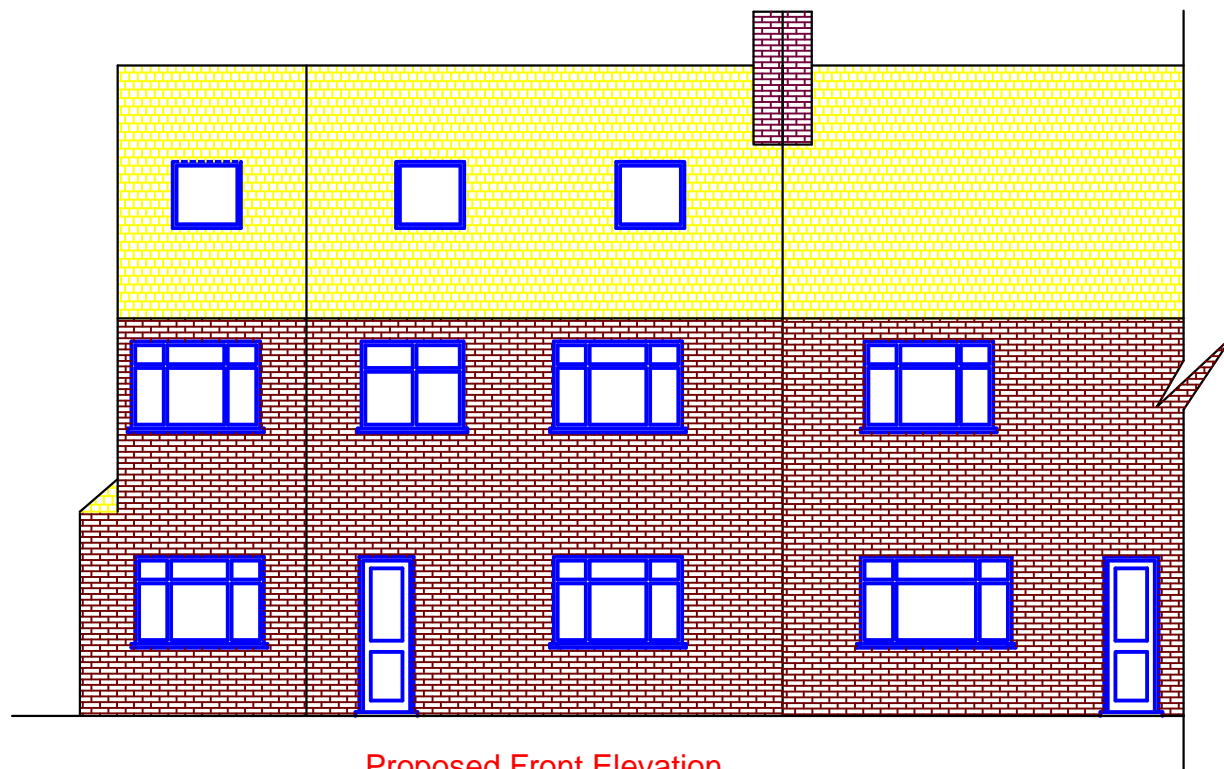


Proposed First Floor

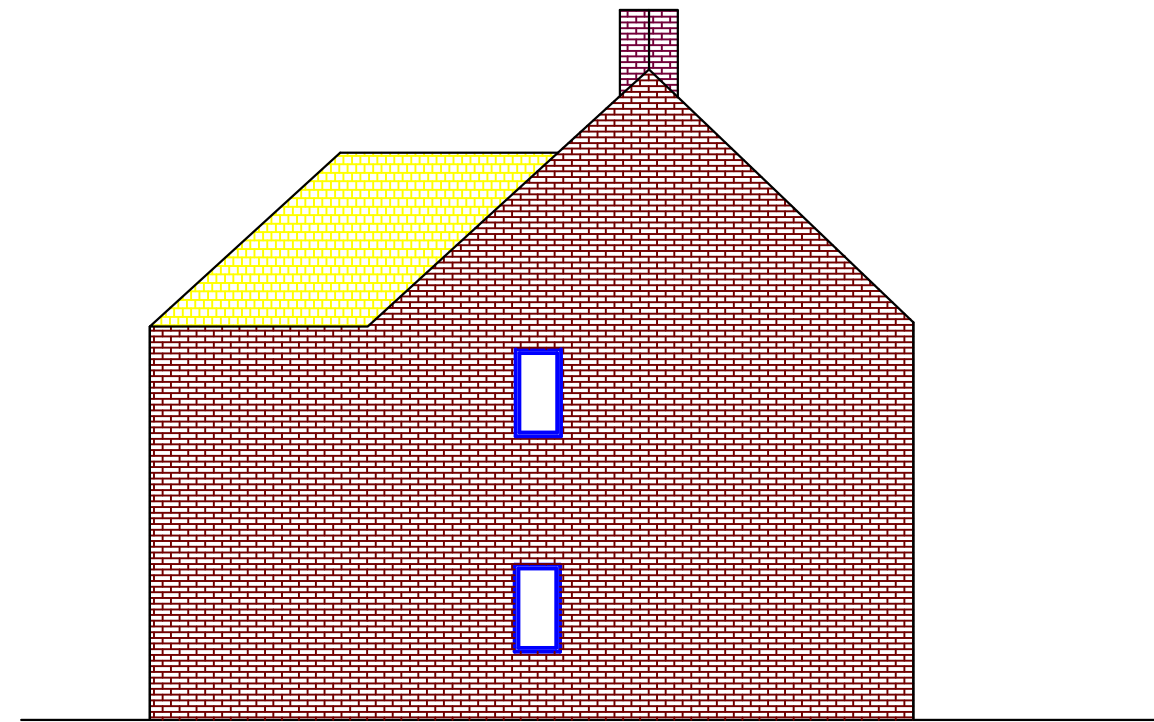


Proposed Loft Floor

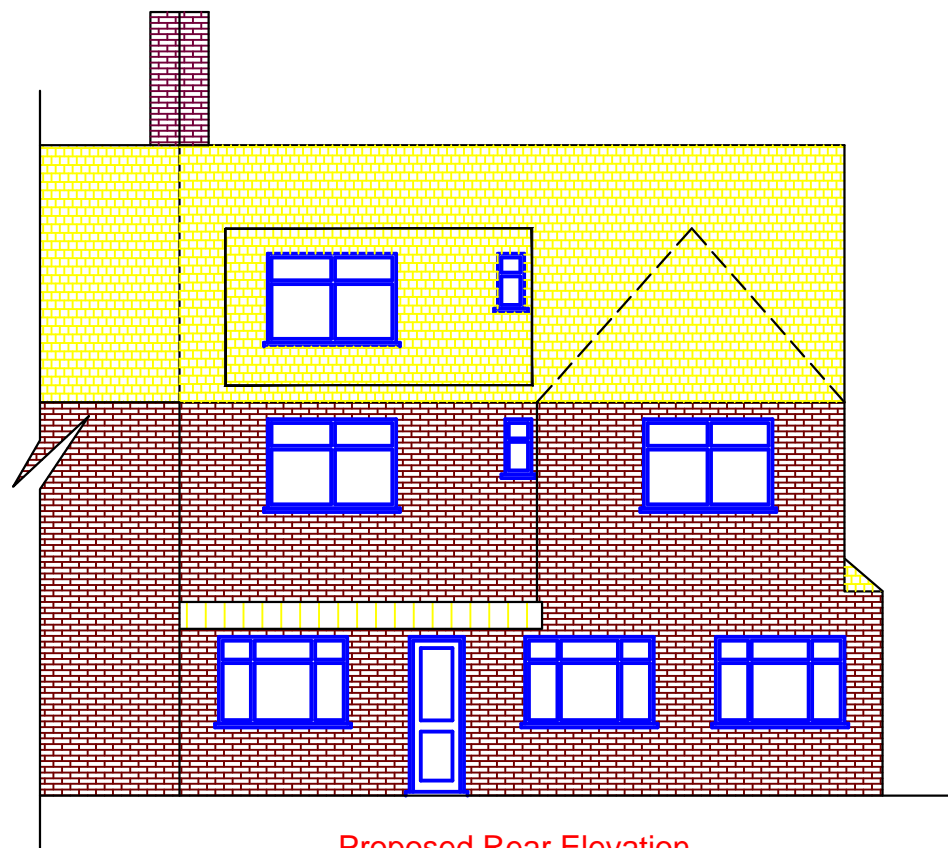
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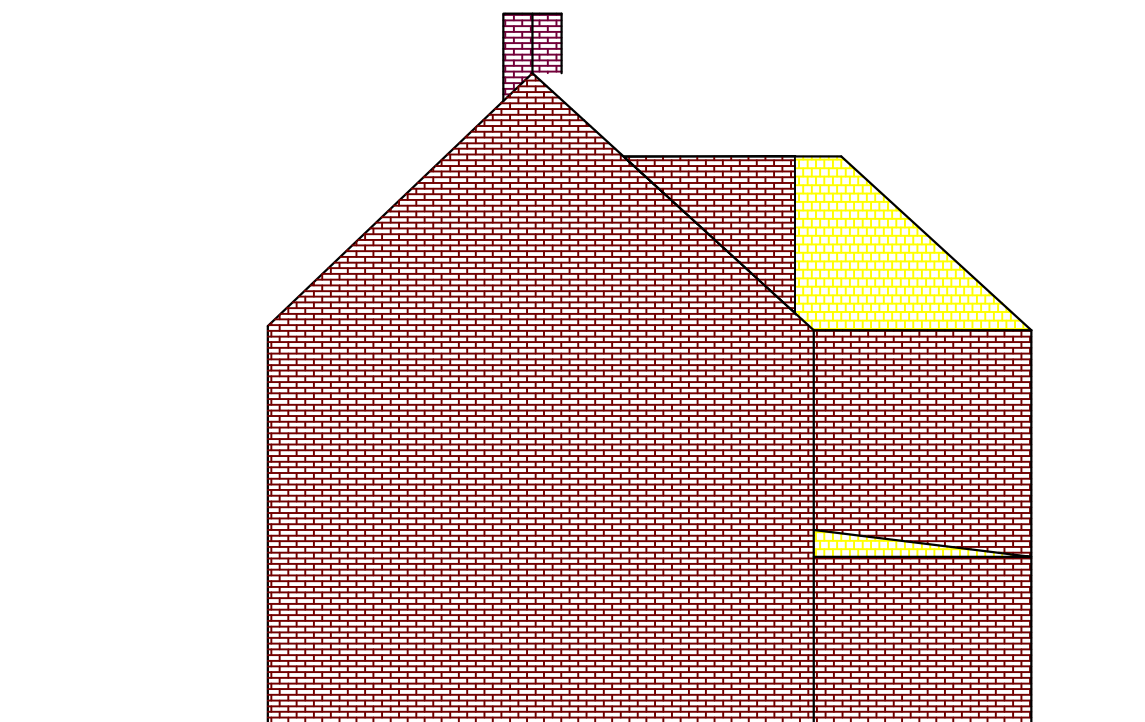
Proposed Front Elevation



Proposed Side Elevation



Proposed Rear Elevation



Proposed Side Elevation

BLOCK PLAN
AREA 90m x 90m
SCALE 1:500 on A4
CENTRE COORDINATES: 535013, 199231



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Licence No: 100047474
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**SITE LOCATION PLAN
AREA 2 HA
SCALE 1:1250 on A4
CENTRE COORDINATES: 535002, 199229**



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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 18th October 2016
Report of Assistant Director, Planning & Environmental Protection	Contact Officer: Andy Higham Tel: 020 8379 3848 Andy Bates Tel: 020 8379 3004 Liz Sullivan Tel: 020 8379 4391	Ward: Southbury
Application Number 16/01805/RE4		
LOCATION: Enfield Playing Fields, Great Cambridge Road, Enfield, EN1 3SD		
PROPOSAL: Construction of an enclosed artificial grass pitch with 6 x 15m high flood lighting columns together with installation of hardstanding, outdoor store for maintenance equipment and operational works to create bund fronting Cambridge Close to north eastern corner of playing fields .		
Applicant Name & Address: Mr Matthew Watts Enfield Civic Centre Silver Street Enfield	Agent Name & Address: Mr Tom Betts Surfacing Standards Ltd 1A Perth House Corbygate Business Park Priors Haw Road Corby NN17 5JG United Kingdom	
RECOMMENDATION: That planning permission be GRANTED subject to conditions.		

1. Site and Surroundings

- 1.1 The application site is located in the northeast corner of Enfield Playing Fields. The playing fields are bordered to the east by Great Cambridge Road, to the north by Cambridge Gardens, Donkey Lane and the Queen Elizabeth II Stadium, to the west by Ladysmith Road and to the south by Sketty Road, Cobham Close and Southbury Leisure Centre.
- 1.2 Enfield Playing Fields are designated as Metropolitan Open Land (MOL) and the Queen Elizabeth II stadium which is home to Enfield Football Club is a Grade II Listed Building.
- 1.3 The playing fields are split down the centre by a tree lined path leading from Sketty Road to the stadium and the fields on each side are tree lined around their perimeter. At the southern end of the site there is an area of allotments and a number of enclosed pitches.
- 1.4 The closest residential neighbours to the identified site are 2-storey semi-detached houses on Cambridge Gardens.

2. Proposal

- 2.1 The applicant seeks full planning permission for the construction of an artificial grass pitch in the northeast corner of the site. Associated with this the proposal would include a pathway leading from the corner of the carpark on Donkey Lane to the development, 6x15m high floodlighting columns, 4.5m high fencing around the pitches, an acoustic fence along the northern side of the pitches and a landscaped bund to the north of the development for further noise attenuation. The proposal also includes an outdoor store for maintenance equipment.
- 2.2 The artificial grass pitches will enable the playing fields to be utilised throughout the year enabling training or matches to continue when the rest of the site may be water logged. The introduction of floodlight also enables the use of the pitches later in the evening, particularly benefitting the winter months.
- 2.3 The proposal is supported by a grant awarded by the Football Association and Enfield Town FC have expressed interest in utilising the pitches to develop teams across the junior age groups, women's football and disability football. The changing facilities at the QEII stadium will be available for users of the pitches.

3. Relevant Planning History

- 3.1 There is no planning history relevant to the northern end of the playing fields.

4. Consultation

Public Consultations

- 4.1 The original 21 day public consultation period started on the 25th May 2016 and concluded on 15th June and a number of site notices were posted close to the site. Seven objections have been received from the public, as well as an objection from Friends of Enfield Playing Fields.

Concerns raised include:

- Existing disturbance of noise from David Lloyds centre to the rear of Cambridge Gardens
- The Donkey Lane car park is poorly used other than by boy racers
- There are already floodlights in the Donkey Lane car park until 1am even when its not in use
- There are floodlights and disturbance form the rugby pitches which aren't always turned off at night,the annual pageant at Enfield football club and the proposed cycle lane.
- Why can't they pitches be away from Cambridge Gardens?

- We wish to see the maximum grass open space preserved and another all-weather pitch would be further urban creep to add to the two pitches already at the south end of the playing fields and the more recent three car parks related to the George Spicer School development.
 - It is unreasonable to place such a facility where it would clearly have a big impact on local residents.
 - Present green outlook will be ruined.
 - Noise will inevitably emanate from the development later into the night including shouting.
 - There will be people chatting and loitering on Cambridge Gardens.
 - The view of the proposal from Cambridge Gardens has not been described fully.
 - The bush type proposal on the bund will act as cover for people/potential thieves.
 - Selecting this location is ignoring the wishes of the community subjecting them to the inconvenience associated with construction plus the ongoing noise and light pollution.
 - It is a big park and it must be possible to select a location that will not have detrimental effects on local residents seeking to enjoy the peace and tranquillity of their homes.
 - Do not want view of the fields to be obstructed by a large bund
 - It may become a focus for hanging around resulting in antisocial behaviour.
 - Enfield pageant once a year results in heavy parking along Cambridge Gardens making it difficult for residents to park or manoeuvre.
 - Enfield playing fields is Metropolitan Open Land and should receive the strongest level of protection. Despite this designation, the council has allowed part of the
 - Enfield Playing Fields (EPF) to be lost forever to the residents of Enfield by the building of a school and two new car parks on EPF.
 - Appropriate development on MOL should be limited to small-scale structures to support outdoor open space uses and minimise any adverse impact on the openness of MOL.
 - The development is possibly on the site of the Roman Ermine Way.
 - The mound will compromise security by making areas invisible.
 - Parking problems caused by a reluctance to park in the Donkey Lane car parks due to access problems.
 - There have been incidents of abusive/threatening behaviour towards residents who have complained to drivers parking in Cambridge Gardens about blocked drives and littering.
 - Lack of impartiality of the Councillors on the Planning Committee, especially Cllr Levy and Cllr Jemal because the application has been adopted by the Council in
 - partnership with the FA. These Councillors have been made aware of the objections of the local residents and the Friends of Enfield Playing Fields with a view to Councillors supporting their objections but they have declined to act for the local electorate because of the partnership.
 - Is there any need for this pitch.
- 4.3 All neighbouring residents who were originally consulted and those who have objected have been re-consulted on the proposal, following the receipt of further information from the applicant which will be discussed below. This consultation is for 14 days from 4th to 18th October 2016.

Internal

- 4.4 Environmental Health – Further details were requested resulting in the submission of a noise report, the mitigation measures proposed are satisfactory.
- 4.5 Conservation officer – Heritage statement, further drawings and explanation of site selection requested, the received heritage statement is acceptable.
- 4.6 SUDS and Flood Risk – Demonstrate that there is no increase in run-off (due to the nature of the site this is not anticipated to be the case however details are requested by condition).

External

- 4.7 Sport England – No objection. The loss of the football pitches are considered mitigated by the proposed provision of a flood lit senior/junior pitches compliant with Football Association

Design Guidance which would facilitate use into the evening and allow increased use all year round.

5. Relevant Policy

5.1 Development Management Document

DMD44	Conserving and Enhancing Heritage Assets
DMD45	Parking Standards and Layout
DMD59	Avoiding and Reducing Flood Risk
DMD64	Pollution Control and Assessment
DMD 71	Protection and Enhancement of Open Space
DMD 74	Playing Pitches
DMD80	Trees on Development Sites
DMD81	Landscaping

5.2 Core Strategy

CP30	Maintaining and improving the quality of the built and open environment
CP31	Built and Landscape Heritage
CP32:	Pollution

5.3 London Plan (March 2015) (FALP)

Policy 6.9	Cycling
Policy 6.10	Walking
Policy 6.13	Parking
Policy 7.2	An inclusive environment
Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.5	Public realm
Policy 7.6	Architecture
Policy 7.8	Heritage Assets and Archaeology

5.4 Other Relevant Policy

- National Planning Policy Framework

6. Analysis

6.1 The main issues for consideration regarding this application are as follows:

- Principle of the development;
- The selected location;
- Impact on neighbouring amenity;
- Impact on the Character of the Surrounding Area and Heritage Assets;

6.2 Principle of the Development

6.2.1 Enfield Playing Fields are designated as Metropolitan Open Land and as such are given the highest level of protection. Development which is appropriate includes essential structures and facilities that would support the enjoyment of the open space. It is also necessary that the development should maintain the openness and be acceptable in terms of size, siting, location, design and materials.

6.2.2 The site is open for general public access but specialises in providing sports pitches which are marked out across the playing fields. The proposed artificial grass pitch, as set out

above, seeks to enhance this use by providing a pitch which is usable in all weather. It will offer a variety of football pitches and training areas within the enclosed space and will support the borough's development plans into grassroots football.

- 6.2.3 In terms of the principle, the proposed use is considered to be acceptable, supporting and enhancing the use of the existing playing fields.
- 6.2.4 The proposed mesh fencing is necessary for practical purposes to secure the facility when it is not in use, it is not however a solid structure and maintains visual openness. The inclusion of floodlighting is not normally encouraged on MOL unless there are very special circumstances. In this instance the value of the facility would be significantly undermined if it did not have floodlights, the aim is to maximise the usability of the site and without floodlights it would be unusable during all evenings in the winter. On balance it is considered that the provision of floodlights is acceptable.
- 6.2.5 The facility supports the existing playing fields and enables their benefit to the borough to be maximised.

6.3 Proposed Location

- 6.3.1 Many of the residents objections query the specific location selected within the playing fields and officers have also explored this issue to see if there are alternatives. The applicant has set out that the specific location has been selected for a number of practical reasons and advises that the proposal would be unlikely to be feasible, due to the funding requirements and connection to the QEII stadium, if situated elsewhere within the playing fields and other locations also present practical issues.
- 6.3.2 The availability of the underused car park at Donkey Lane makes the site very easily accessible and would not be anticipated to put strain on street parking. A location towards the south of the playing fields may rely on Southbury Leisure Centre which is used much more extensively and does not accommodate demand sufficiently.
- 6.3.3 The changing facilities within the QEII stadium will be available for users of the proposed facility and conveniently close. The proximity of the QEII stadium also reinforces the future relationship with Enfield Town FC which was a fundamental part of the delivery of the football development plan and the funding from the Football Foundation has been granted with this in mind. The other facilities of the stadium including the café, toilets, outdoor gym etc. will also be available enhancing the attractiveness of the pitch in this location particularly for parents who are expected due to the significant junior use anticipated.
- 6.3.4 In this location is it separated from the closest residential neighbours by a road and does not abut residential gardens as it would if located on the western side of the fields. The relationship with neighbours is discussed further below.
- 6.3.5 An alternative location would also require additional surveys or example to establish whether there is sufficient power supply, for the avoidance of doubt it has been confirmed that if the development were to be relocated it would not be able to continue under the current grant offer.
- 6.3.6 The location has also been selected with the views of the listed building in mind, the QEII stadium is a Grade II Listed building and a Heritage Statement has been submitted to consider the relationship between the facility and the heritage asset, this is discussed in more detail below.
- 6.3.7 As explained above, the proposed location is considered to be acceptable in principle. However, the concerns of the nearby residents on Cambridge Gardens are understood and it is therefore necessary to move on to amenity considerations to deal with those concerns.

6.4 Neighbouring amenity

- 6.4.1 The proposed site section drawing very usefully shows distance between the front elevation of the houses to the north, through the bund and to the proposed pitches. The edge of the park is tree lined creating an initial screen though neighbours do have views into the playing fields. The bund is proposed to be up to 3m in height, this is part of the noise attenuation measures, but as it will be in the foreground it will limit direct views to the pitch and its fencing and floodlights. Officers recommend that details of the landscaping proposed on the bund be required by condition. The section indicates that the separation distance between the residents and the pitch is a minimum of 73.8m, this separation and the existing and proposed trees and planting prevents an unacceptable impact in terms of visual amenity.
- 6.4.2 Since the initial submission and consultation a full and detailed noise report has been submitted in line with similar MUGA proposals elsewhere. The assessment considered the impact of environmental noise on the nearby noise sensitive residential properties. The assessment includes the prediction of noise emission from the pitches at the nearby noise sensitive properties, based on noise level data from activities measured at existing facilities.
- 6.4.3 The highest predicted noise level at the facades of the residential properties is 46 dB LAeq(1 hour) without the acoustic barrier, this should be reduced by 2 decibels with the inclusion of the barrier. The predicted Equivalent Noise Level of 46 dB LAeq(1 hour) in gardens is below the level of community noise for moderate community annoyance in outside living areas (such as gardens), stated in World Health Organisation 1999 as 50 dB. The World Health Organisation guidance states "To enable casual conversation indoors during daytime, the sound level of interfering noise should not exceed 35 dB LAeq." The report concludes that noise produced by the use of the pitches will be noticeable, but not on a level that would be considered intrusive. This is important given experiences elsewhere.
- 6.4.4 The report also advises that noise complaints are often caused by specific behaviours such as language used, therefore it is recommended that a noise management plan be produced and communicated to all users of the facility. A noise management plan would include a method of informing users that swearing and anti-social behaviour is unacceptable and the centre reserves the right to dismiss users from the pitch and ban future use if this is the case. It should also include detail of how neighbours can report excessive noise or anti-social behaviour directly to the centre to enable complaints to be investigated and addressed quickly. There should be an action plan for dealing with any instances and a log of complaints.
- 6.4.5 The light report demonstrates that the efficiency of the proposed floodlights minimises light spillage beyond the immediate area around the pitches. The lit area will of course be visible to residents or passers-by who look towards it but there will be no direct lighting of the residential road and the model shows that light spillage will not pass beyond the bund.

6.5 Heritage Asset

- 6.5.1 Any impact that the proposal would have on views of the façade of the listed stadium need to be considered. Although trees, boundary fencing and parked cars obscure much of the view from within the playing fields there are points that afford uninterrupted views of the building. More specifically, the views are most prominent adjacent to the avenue of trees that runs through the centre of the playing fields.
- 6.5.2 Due to the mature and semi-mature trees that are present on the southern side of the Stadium car park, there are very few views from the proposed 3G pitch site across to the listed building. The proposed positioning of the facility has been chosen to ensure that no current vistas of the stadium building are obscured and users of the open space would continue to benefit from glimpses of the listed building as they walked around the playing fields.
- 6.5.3 Where it is considered that there is any harm to a heritage asset it is advised by the NPPF that the benefits of the proposal should be considered against the harm. In this instance it is

not considered that there is harm of any significance however the proposal is intended to deliver a facility which can be used by the community developing grass roots football, public health objectives and addressing the deficiency in artificial grass pitches in the borough identified by the sport's national governing body.

6.6 Other

6.6.1 It is understood that maintenance of the Artificial Grass Pitch will be managed by Enfield Playing Fields grounds team on a daily and weekly basis. The provision of access to the pitches is still to be determined but could include a pin code for example, a condition is recommended to request the final details.

6.6.3 A sinking fund will be developed using the income from community hire in order to replace the artificial grass surface at the end of its working life, along with other necessary refurbishment works.

7. Conclusion

7.1 Having considered the proposal against the policies applicable to MOL officers are satisfied that the proposal supports and enhances that existing use of the open space and delivers a community benefit. It does not unacceptably impact on the character or use of the open space.

7.2 Officers, sharing some of the concerns shared by residents, have sought further information to consider alternative locations and a detailed assessment of the potential impact of the facility in its proposed location. The conclusion is that the proposed location is significantly more desirable for the proposed use both in terms of the applicant's requirements and practicality and convenience for the users. In terms of noise from the facility and lighting the reports demonstrate factually that whilst the development will be noticeable it should not be intrusive in a way that would cause a direct nuisance.

7.3 On the basis of the information provided officers recommend, on balance, that approval be granted.

8. Recommendation

8.1 It is recommended that planning permission be granted subject to conditions.

Conditions

Approved Plans

The development hereby permitted shall be carried out in accordance with the approved plans including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

Time Limited Permission

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: As required by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Sports Pitch – Maintenance Plan

Before the artificial grass pitch is brought into use, a Management and Maintenance Scheme for the facility including management responsibilities, a maintenance schedule and a mechanism for review shall be submitted to and approved in writing by the Local Planning Authority. This should include measures to ensure that the surface is replaced at the end of its usual lifespan. The measures set out in the approved scheme shall be complied with in full, with effect from commencement of use of the artificial grass pitch.

Reason: To ensure that a new facility is capable of being managed and maintained to deliver a facility which is fit for purpose, sustainable and to ensure sufficient benefit of the development to sport and to accord with Development Plan Policy.

Hours of Use and Floodlights

Unless otherwise agreed in advance and in writing by the Local Planning Authority, the artificial grass pitch, grass sports pitch and its associated sports lighting shall not be used outside the hours of:

09:00 to 22:00

There shall be a mechanism in place for the lighting to be turned off outside of these times prior to the commencement of the use.

Reason: To balance illuminating the playing field/sports facility for maximum use with the interest of neighbour amenity and sustainability in accordance with Development Plan Policy.

Flooding

Prior to the commencement of the development the applicant shall submit details to demonstrate that the hardstanding areas will be sustainably drained and will not result in any increase in runoff.

Reason: In the interest of sustainable drainage.

Management of access to the site

Prior to the commencement of the use of the facility details shall be submitted to and approved in writing by the LPA demonstrating how visitor access to the pitches will be managed. Once approved those details shall be permanently maintained.

Reason: In the interest of security and amenity of neighbouring residents.

Travel plan

Prior to the commencement of the use of the facility details of a simple Travel Plan shall be submitted to and approved in writing by the LPA, details shall include:

- promotion of sustainable transport modes
- that visitors to the site travelling by car should park in Donkey Lane car park
- how the Travel Plan will be communicated to visitors

The approved Travel Plan shall be implemented for the lifetime of the development.

Reason: In the interest of sustainable transport, highway safety and neighbouring amenity

Root protection

Prior to the commencement of the development a drawing shall be submitted to and approved in writing by the LPA identifying Root Protection Areas of the adjacent trees, including those near to the proposed bund. The submission shall demonstrate that the work will be undertaken in accordance with good arboricultural practice and British Standard 3998 and the development shall be carried out in accordance with the approved details.

Reason: In order to maintain the tree(s) amenity value and health.

Landscaping

Prior to the commencement of the use detailed drawings showing trees, shrubs and grass to be planted (including species, size and number) on the bund have been submitted to and approved in writing by the Local Planning Authority. The site shall be landscaped in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any trees or shrubs which die, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details. The submission shall also include a cross section of the makeup of the bund to demonstrate that it will provide a suitable environment for the proposed planting.

Reason: To provide a satisfactory appearance and ensure that the development does not prejudice highway safety.

Noise management plan

Prior to the commencement of the use a noise management plan, in line with the recommendations of the Noise Report, shall be submitted to and approved in writing by the LPA. The noise management plan shall be communicated to all visitors to the site and shall be reviewed on an annual basis and/or following the receipt of any noise complaints. Once approved the plan shall be permanently maintained.

Reason: In the interest of neighbouring residential amenity.

Construction Methodology

That development shall not commence until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:

- (a) details of construction access, associated traffic management and vehicle routing to the site
- (b) hours of access for construction servicing and delivery purposes
- (c) arrangements for vehicle servicing and turning areas
- (d) arrangements for the parking of contractors vehicles clear of the public highway
- (e) arrangements for wheel cleaning
- (f) details of the site compound and the layout of temporary construction buildings
- (g) arrangements for the storage of materials
- (h) hours of work
- (i) A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition'.

The development shall then be undertaken in accordance with the approved construction methodology.

Reason: To ensure the implementation of the development does not lead to damage to the existing roads, prejudice highway safety or the free-flow of traffic on the adjoining highways, to minimise disruption to neighbouring properties and schools.

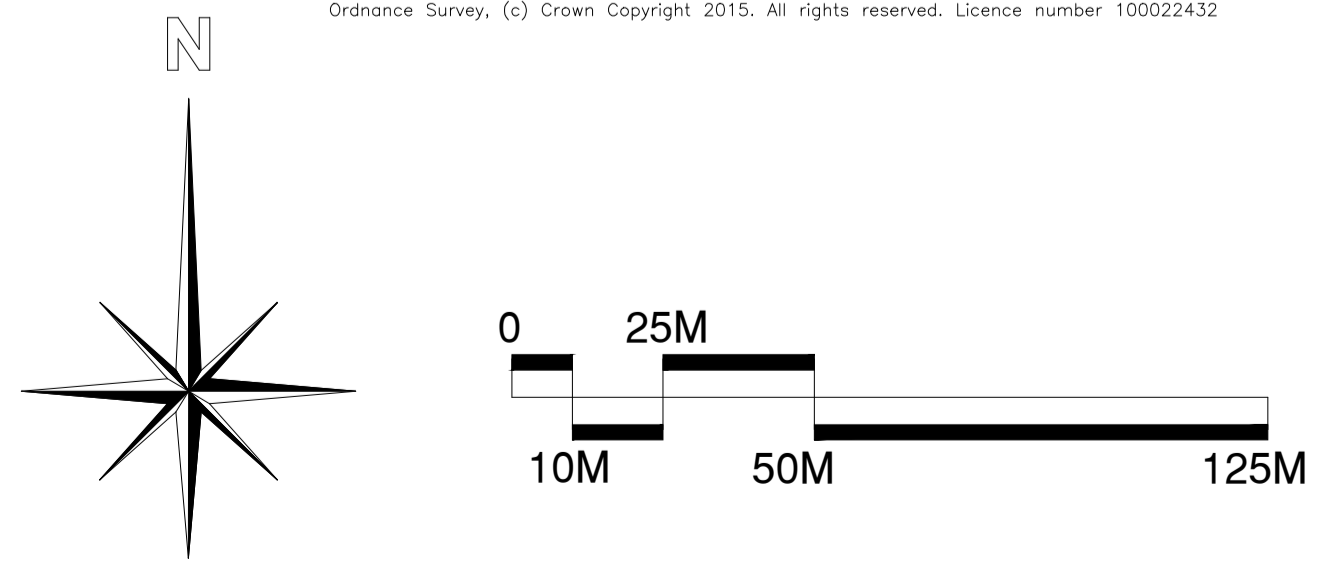
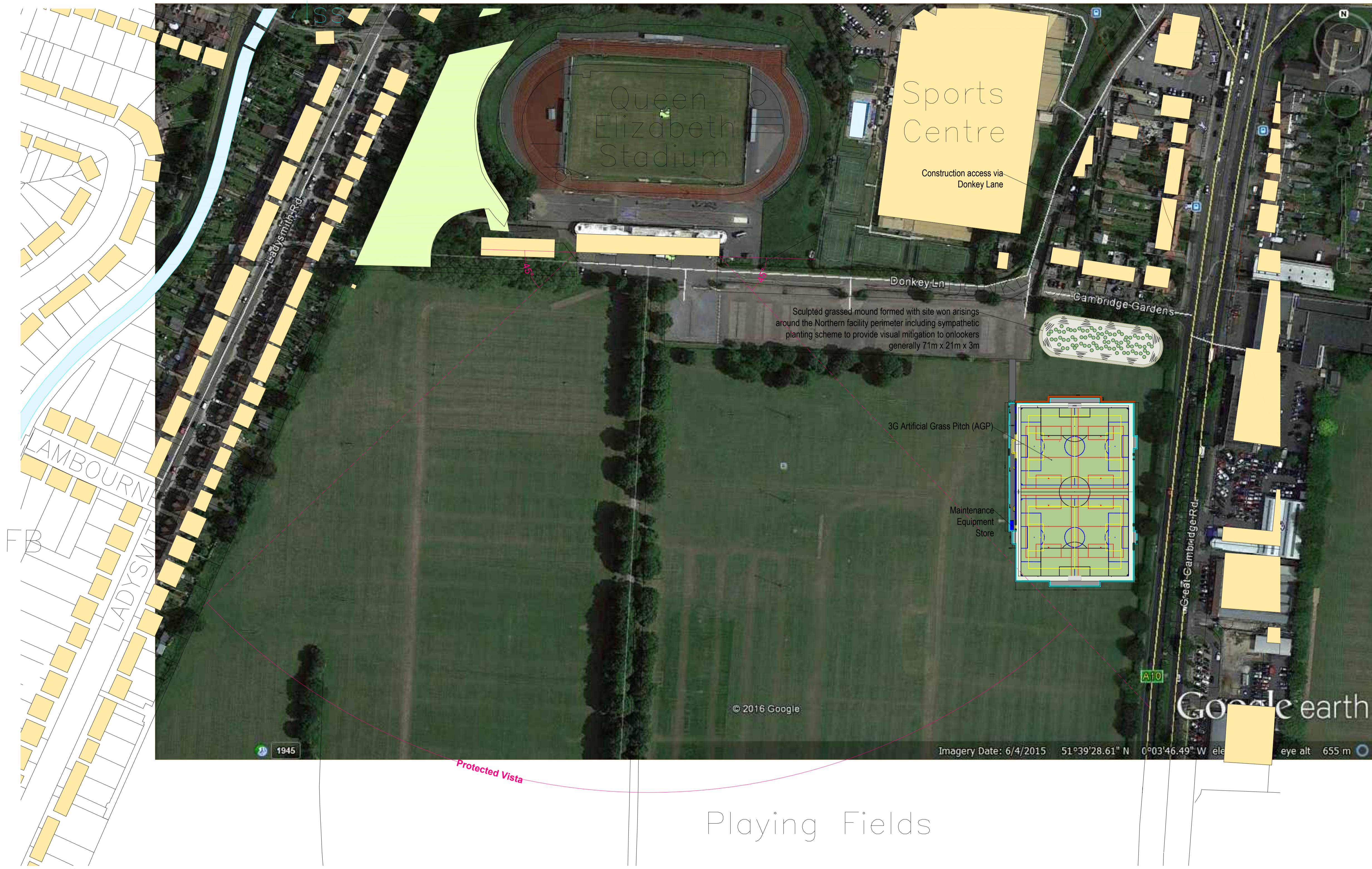
Enfield Playing Fields

3G Artificial Grass Pitch (AGP)

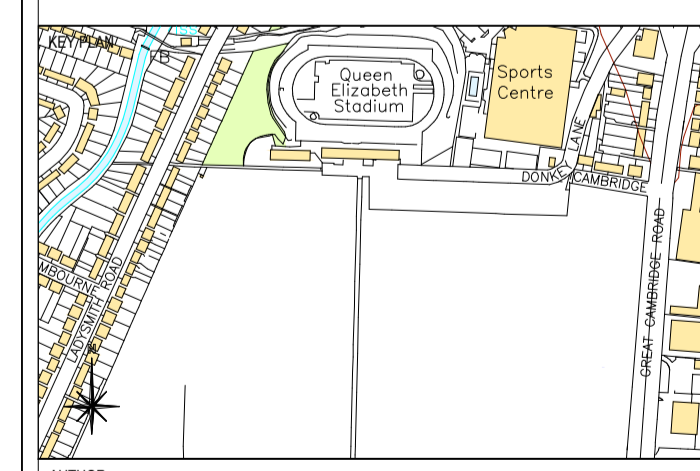
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NOTES



D4	GOOGLE IMAGE ADDED	SMD	04/08/16
D3	ACOUSTIC BARRIER ADDED	SMD	23/03/16
D2	AGP RELOCATED / ACOUSTIC BARRIER ADDED	YB	16/03/16
D1	PEDESTRIAN FENCE ADDED	SMD	11/01/16
D0	PLANNING ISSUE	SMD	15/12/15
REV	DESCRIPTION	BY	CHK DATE



AUTHOR
 Sam McDonald

TITLE
Enfield Playing Fields
3G Artificial Grass Pitch (AGP)
Proposed Site Plan

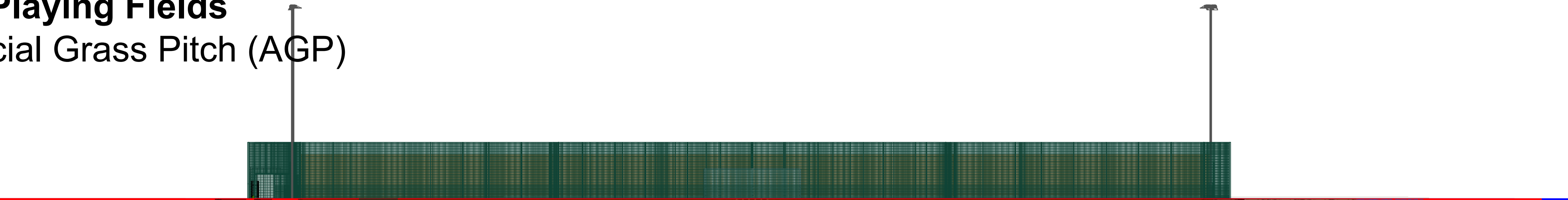
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DRAWING No	REVISION	
03	04	

Enfield Playing Fields

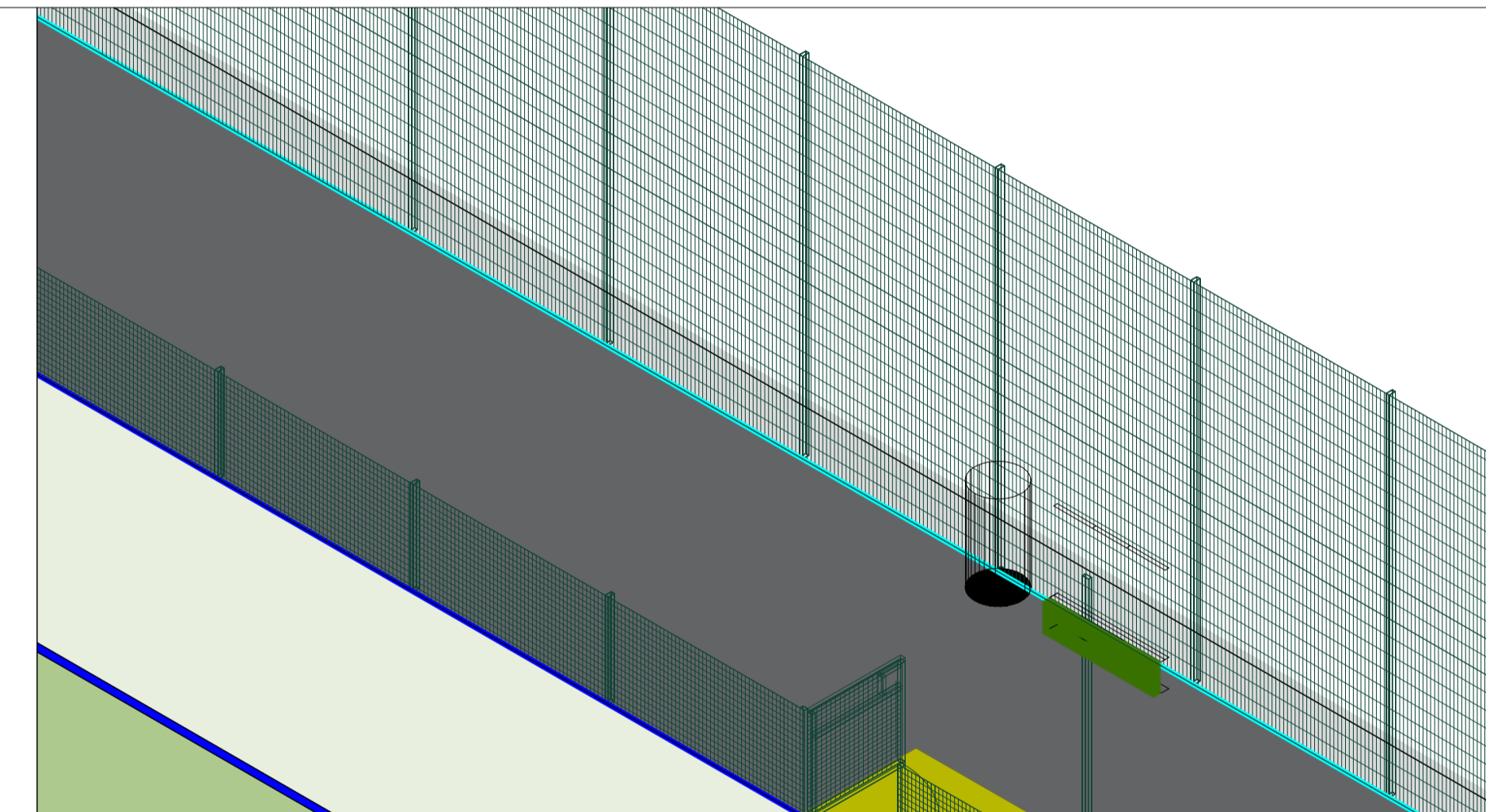
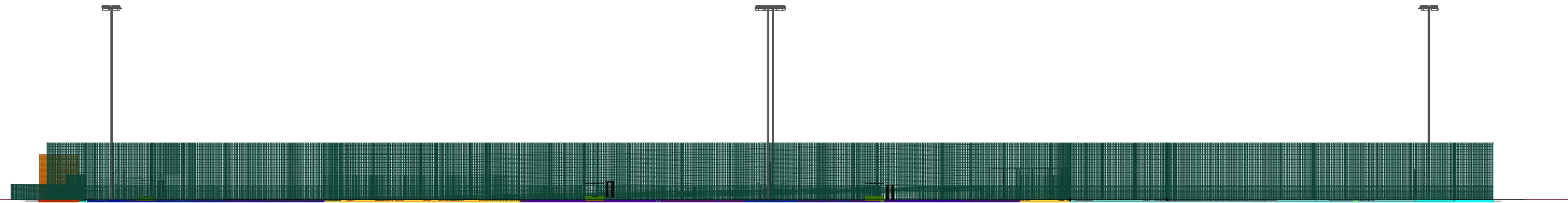
3G Artificial Grass Pitch (AGP)

NOTES

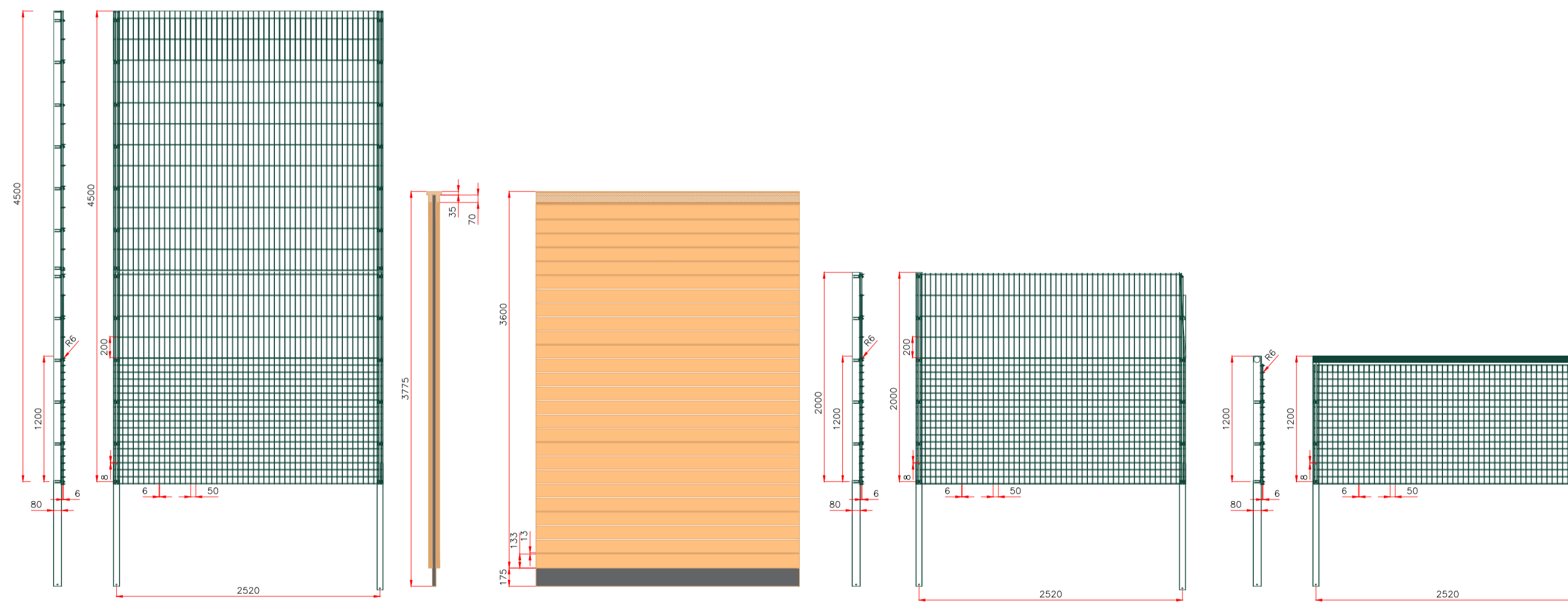
Elevation Viewpoint from South East to North West - Scale 1:200



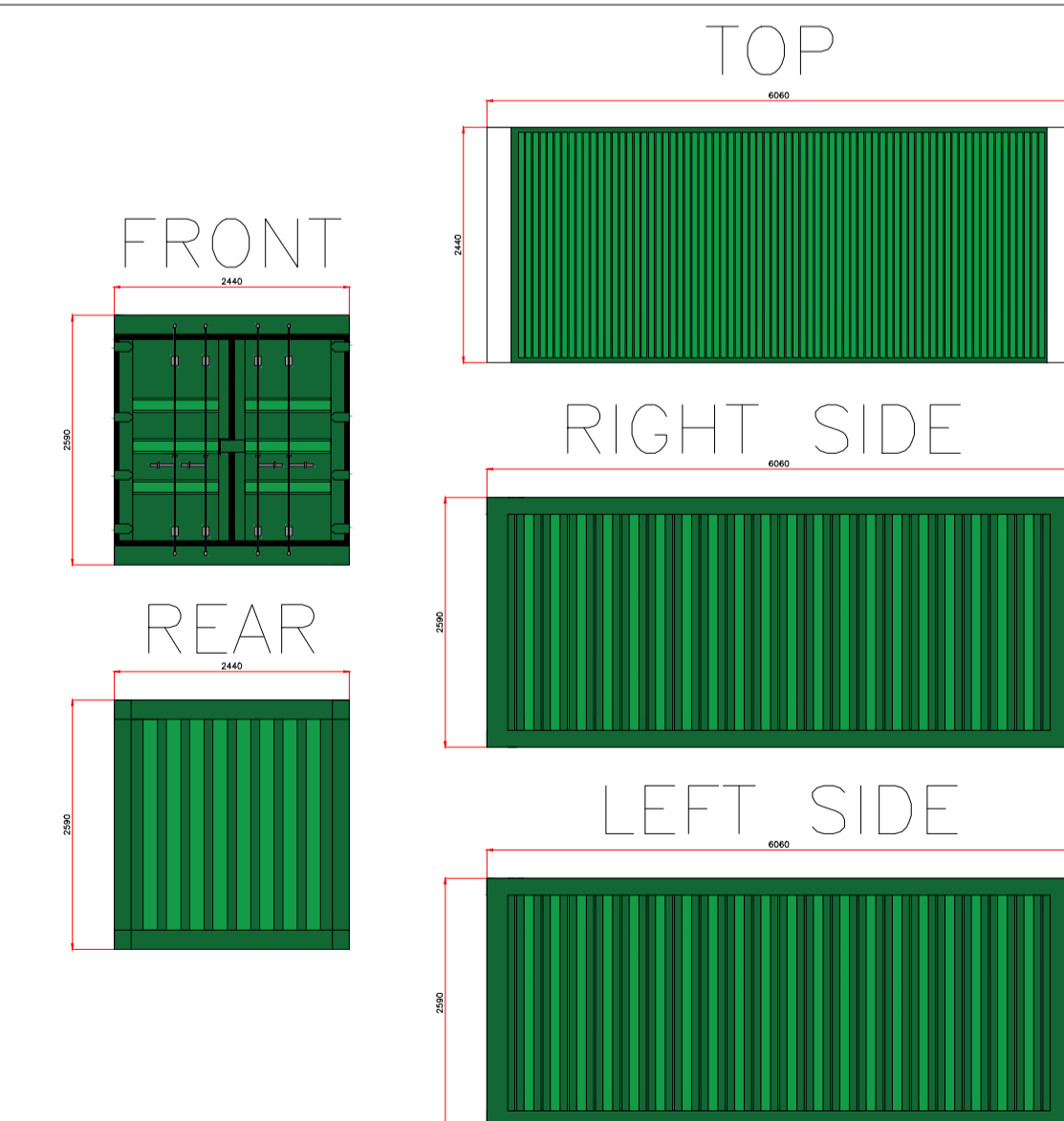
Elevation Viewpoint from South West to North East - Scale 1:200



Fencing Elevation Isometric View - Not To Scale

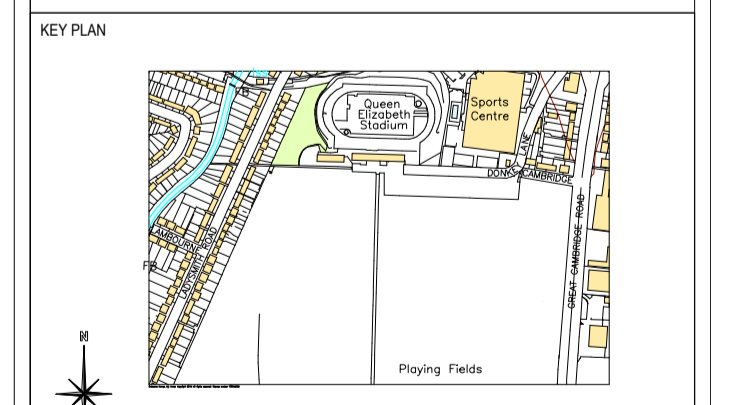


Fencing Elevation Section - Scale 1:40



Storage Container Dimensions - Scale 1:75

02	ACOUSTIC FENCE ADDED & CONTAINER CHANGED	SMD	23/03/16
01	FENCING ISOMETRIC ELEVATION ADDED	SMD	11/01/16
00	PLANNING ISSUE	SMD	15/12/15
REV	DESCRIPTION	BY	CHK/ DATE



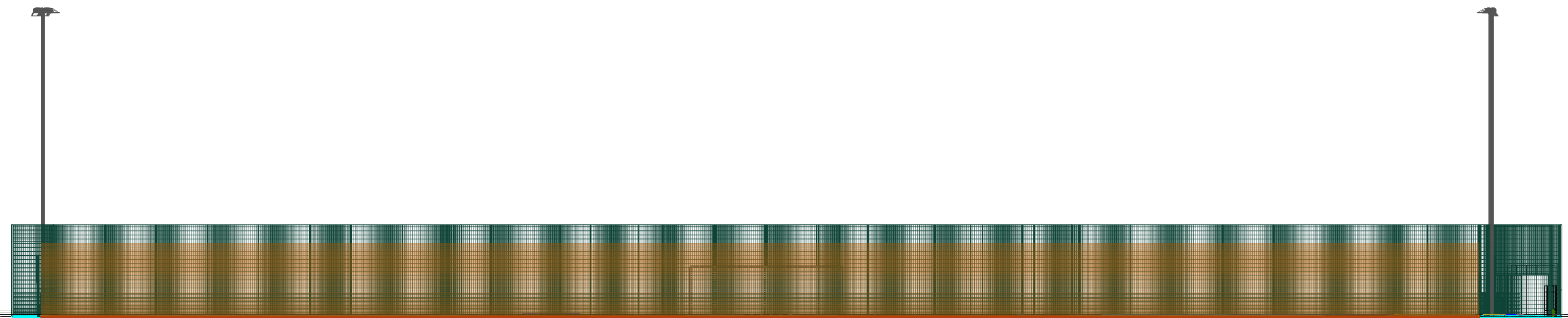
AUTHOR
Sam McDonald

TITLE
**Enfield Playing Fields
3G Artificial Grass Pitch (AGP)
Proposed Elevations**

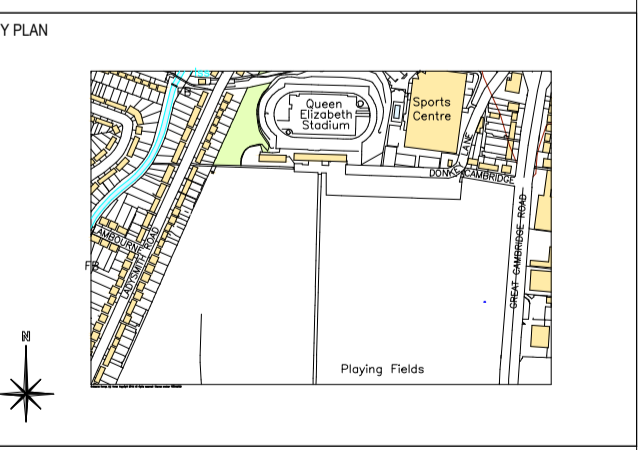
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SS2008	As Stated	A1
DRAWING No	REVISION	
05	02	

Enfield Playing Fields

3G Artificial Grass Pitch (AGP)



REV	DESCRIPTION	BY	CHK	DATE
00	PLANNING ISSUE	SMD		04/08/16

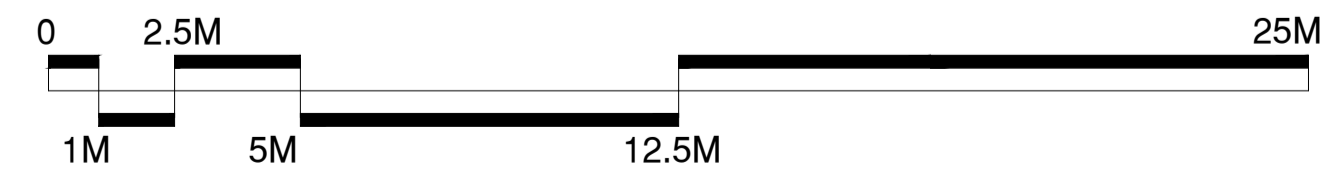


AUTHOR
Sam McDonald

TITLE
**Enfield Playing Fields
3G Artificial Grass Pitch (AGP)
Proposed Acoustic Fence
Elevation**

PROJECT	SCALE	SIZE
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DRAWING No	REVISION
05b	00

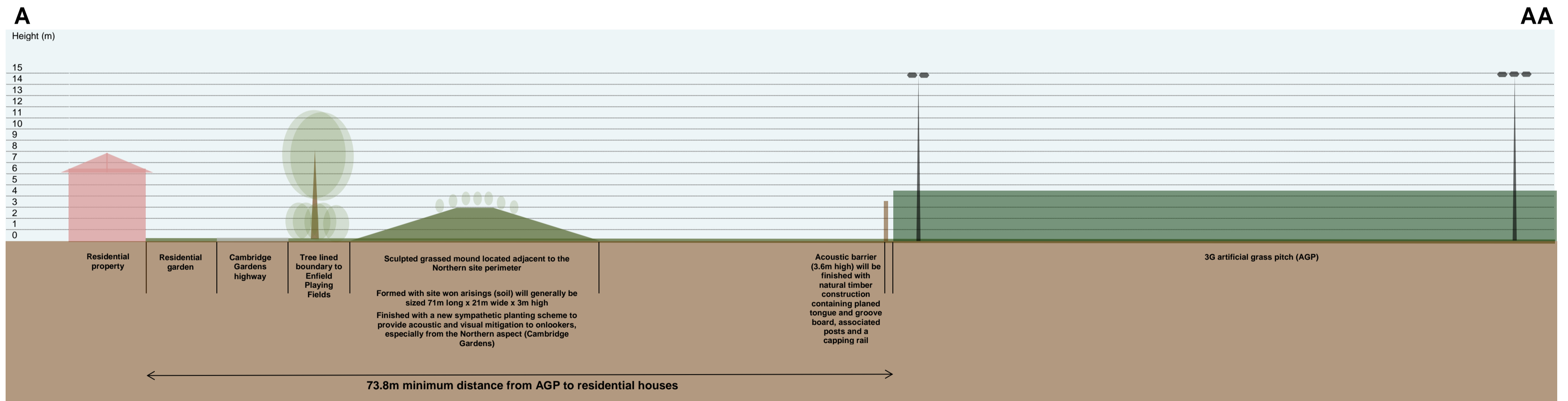
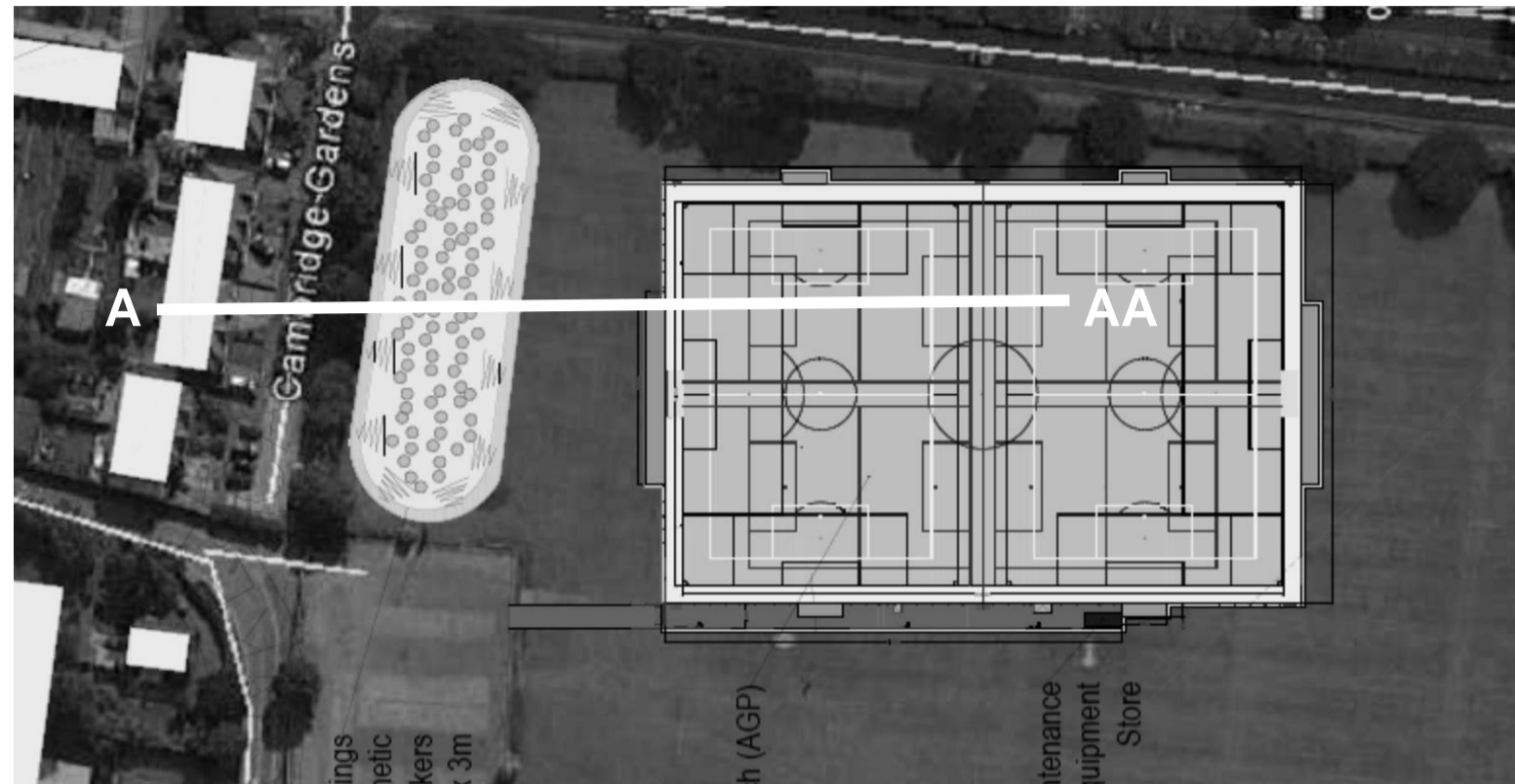


Elevation of proposed acoustic fence from North to South - Scale 1:150 - AGP located Southwards

Enfield Playing Fields

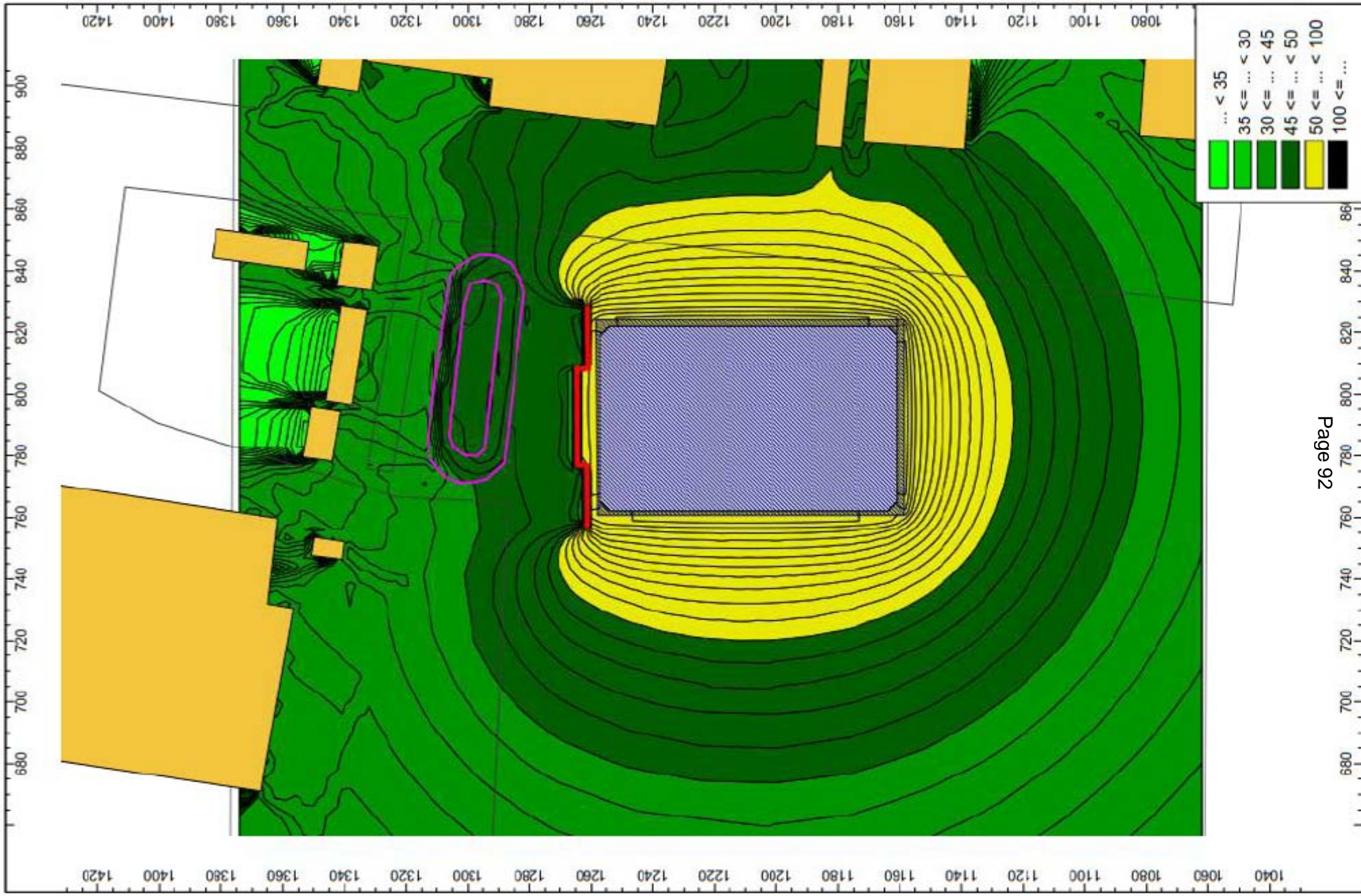
Creation of new external 3G Artificial Grass Pitch (AGP)

Site Section Illustration



FMC project code	BM25583/0197
Client	Enfield Playing Fields
Document Title	Site Section Illustration

Figure 4: Predicted AGP Noise Emission with Barrier



LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 18/10/2016

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham
Sharon Davidson
Ms M Demetri

Ward:

Bush Hill Park

Ref: 16/03061/HOU

Category: Householder

LOCATION: 21 Abbey Road, Enfield, EN1 2QP,

PROPOSAL: Part single, part first floor side and rear extension and rear dormers.

Applicant Name & Address:

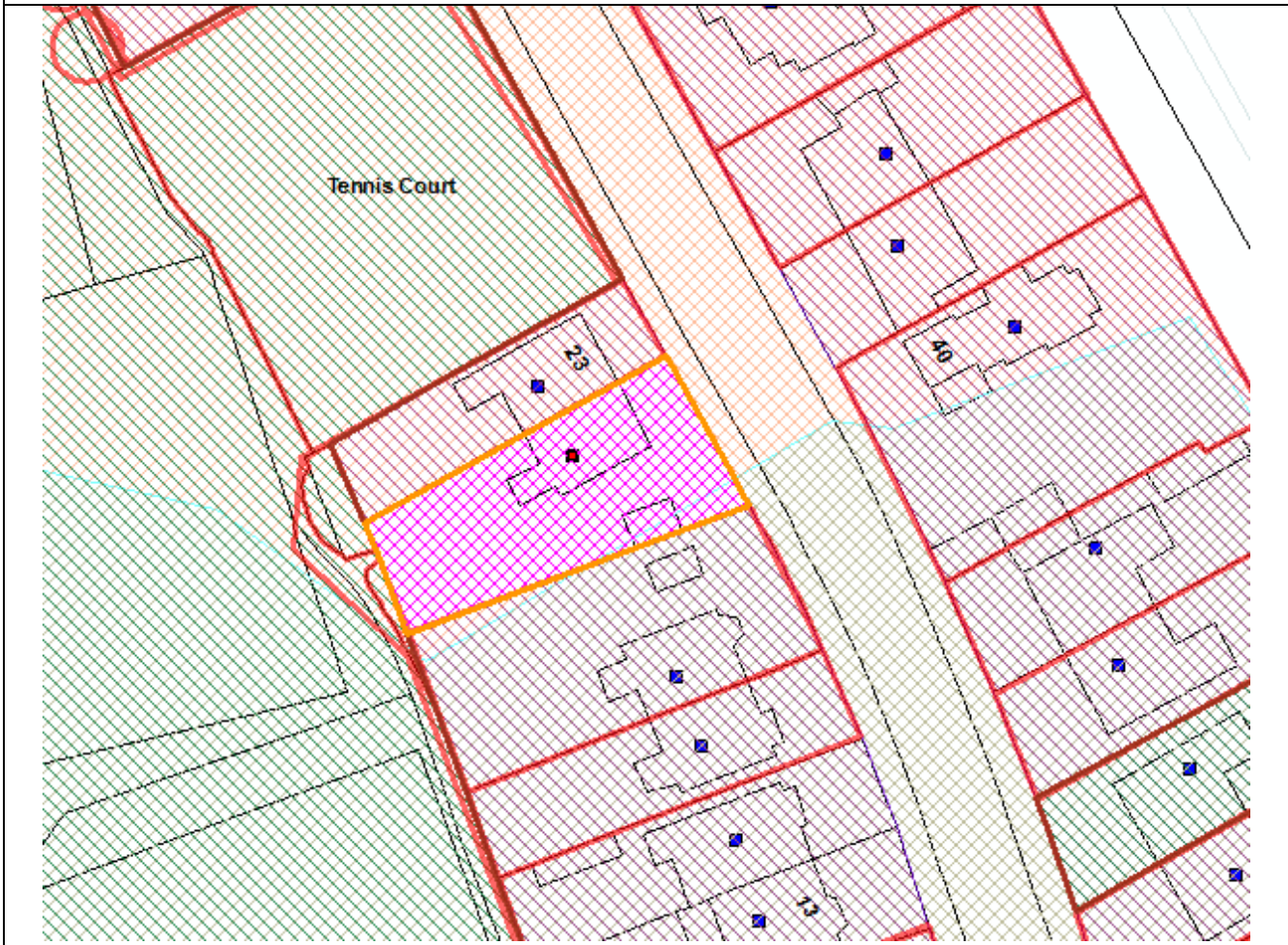
Mr ANDY CHRISTODOULIDES
21, Abbey Road
ENFIELD
EN1 2QP

Agent Name & Address:

Mr NICK GEORGIU
20 PARK DRIVE
GRANGE PARK
LONDON
N21 2LR

RECOMMENDATION: That planning permission be GRANTED subject to conditions

Note for Members:



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Scale 1:1250



1.0 Site and Surroundings

- 1.1 Number 21 Abbey Road comprises an interwar semi-detached dwelling circa 1914-1935. It is situated in the Bush Hill Conservation Area. It is built of red brick with clay tiled hipped roof/ central stack over. The dwelling features a characteristic deeply recessed entrance and canted bay window to the front elevation. The building is cited in the Bush Hill Park Conservation Area Character Appraisal as making a positive contribution to the area. The Bush Hill Park Bowl and Tennis Club is sited immediately to the rear of the dwelling.
- 1.2 Views from The Bush Hill Park Bowl and Tennis Club to the property are not from the public realm and are almost completely obscure given the siting of number 19 Abbey Road and the existing landscaping around the site.
- 1.3 The property already benefits from a tall single storey rear extension (rendered in white that is not an original feature) and a single storey side extension (glazed light weight structure with an additional clear corrugated roof). These are demonstrated below (photographic evidence). Number 23 Abbey Road benefits from a two storey rear extension with a hipped roof and rear roof light. Number 19 Abbey Road benefits from a box dormer and substantial extensions on the ground floor.



2.0 Proposal

2.2 This proposal seeks planning permission for the following works:

- Part single, part first floor side and rear extension and rear dormers.

2.3 The reason that this application is being heard by the Planning Committee is because the Conservation Advisory Group (CAG) objected to the scheme. However, Officers considered that this application should be recommended for approval. Consequently, under the scheme of delegated authority, this application is required to be heard by the Planning Committee.

3. Relevant Planning Decisions

3.1 16/03439/HOU

Single storey front, side and rear extension including integral garage.

A report appears elsewhere on this Agenda and is recommended for approval subject to conditions.

3.2 TP/06/0705

Replacement guttering to the front, side and rear elevations together with the painting of the gutter board.

Granted permission subject to conditions on the 17th May 2006.

4. Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Conservation Advisory Group (CAG)

The CAG meeting was held on the 6th September 2016 and an objection was raised. The minutes of the meeting are still in draft form and will not be formally approved until the next CAG meeting. The objection regarding this application is as follows:

“The CAG noted the explosive growth of the property evidenced by the proposal. Whilst the front elevation (public vista) is acceptable the wrap around, rear ground floor fenestration is excessive and out of keeping with the co-joined property and the neighbourhood.

The CAG were presented with drawings of two gable fronted, hip roofed, dormers as the amended proposal. CAG noted the clean and uncluttered roofscapes, of the rear of Wellington Road and Abbey Road, where these roads border the boundary of BHP Bowls etc Club. Photographs were shown to emphasise this aspect.

Back in the 1990’s Enfield (“unwisely”) approved the installation of a rear box dormer in the general area of this application. To this day the dormer remains an eyesore and a break in the original and unbroken line of the roofscape of Abbey Road.

Given that each application is judged on its merits CAG urge that this proposal is rejected”.

For clarification purposes, the CAG have objected to the amount of glazing serving the part single storey ground floor rear extension and the two rear hipped roof dormers.

4.1.2 Bush Hill Conservation Area Study Group (BHCASG)

The BHCASG have stated the following with regards to the application:

“The property is described in the Character Appraisal for BHP as “making a positive contribution to the area” and with “some of the original features intact”. This proposal will change that assessment.

The property is a matched semi-detached. The scale of the proposed side extension will take it out of that matching relationship with its immediate neighbour.

The group’s other concerns are;

1. *The entire rear elevation is completely out of keeping with the adjoining properties. It is worth emphasising that the rear of the upper storey and roofs of all the properties, on the odd side of Abbey Road, can be seen from (a) the rear of Wellington Road and (b) BHP Bowls Tennis and Social Club.*
2. *The proposed fenestration to the ground floor of the rear elevation is simply gross and totally out of character with the neighbourhood. There are 16 bi-folding doors which, in a semi-detached property, is completely out of keeping with the original design.*
3. *The roof dormer is devoid of design merit. It is simply a bog standard dormer. It will dominate the existing roof running as it does for the full length of the existing ridge line. It will be a discordant feature and will be highly visible (see point 1 above).*
4. *Enfield Council’s policy has been to resist front facing roof lights in conservation areas. This proposal contains such a roof light”.*

4.1.2 The Greater London Archaeology Advisory Service (GLAAS)

No objection has been raised. The site is situated in an archaeological priority area, however, the small scale of the development proposes a limited archaeological risk. Further, no conditions are required to be imposed.

4.1.3 The Environment Agency (EA)

No objection raised. The site falls within Flood Zone 2 and thus standing advise applies. This means that the plans are required to ensure that the floor levels are either no lower than existing floor levels or 300 millimetres (mm) above the estimated flood level.

The Planning Officer can confirm that if the application is approved by members then an informative will be added to the decision notice ensuring

that the Agent and Applicant are aware of the Environment Agency's comments.

4.1.4 Traffic and Transport

Traffic and Transport originally objected to the scheme as there would appear to be an alteration to the existing access into the site. An alteration to the access into the site would not be acceptable within the designated Bush Hill Conservation Area.

Officers have reviewed the plans and can confirm there would be no alteration to the access into the site. Further, the Agent has confirmed in writing that there is to be no alteration to the access into the site. For clarification purposes, the access is to remain as is.

4.2 **Public response**

4.2.1 Letters were sent to 5 adjoining and nearby residents. In addition, a notice has been displayed adjacent to the site and in the local press. As a result, 2 responses have been received and are as follows

4.2.2 Number 19 Abbey Road has raised an objection to the scheme. They consider that the height of the proposed extension and proximity of the ground floor extension to their property would be overbearing. In addition, they consider that the full height side glass bi-fold doors will look straight into their garden.

4.2.3 Number 23 Abbey Road confirmed that they have no objection to the single storey extension. However, an objection is raised to this planning application with regards to the following matters:

- Impact to light.
- Impact to the Conservation Area.
- Impact to trees.
- The rear dormers will impact privacy.

5.0 **Relevant Policy**

5.1 The policies listed below are considered to be consistent with the NPPF and therefore it is considered that due weight should be given to them in assessing the development the subject of this application.

5.2 London Plan

Policy 7.1	Building London's Neighbourhoods and communities
Policy 7.4	Local character
Policy 7.6	Architecture
Policy 7.8	Heritage

5.3 Core Strategy

CP30	Maintaining and improving the quality of the built and open environment
CP31	Heritage

5.4 Development Management Document

DMD 11	Rear Extensions
DMD 13	Roof Extensions
DMD 14	Side Extensions
DMD 37	Achieving High Quality and Design-Led Development
DMD 44	Preserving and Enhancing Heritage Assets

5.5 Other Policy

National Planning Policy Framework
Planning Practice Guidance
Bush Hill Park Conservation Area Character Appraisal

6.0 Analysis

6.1 Impact on Character of Surrounding Area

Policy

6.1.1 Policy CP31 and Policy DMD44 states that when considering development proposals affecting heritage assets, regard will be given to the special character and those applications for development which fail to conserve or enhance the special interest, significance or setting of a heritage asset will normally be refused. This approach is consistent with that set out in the NPPF. Policy DMD14 seeks to ensure that extensions to the side of existing residential properties do not assist in creating a continuous façade of properties or a terracing effect out of character with the street scene. Policy DMD 11 requires that single storey rear extensions do not cause an adverse visual impact and do not impact on the amenities of the original building. DMD 13 provides specific measurements with regards to rear dormers and provides general advice regarding design.

Harm

6.1.2 Any development proposal has some form of impact. An “impact” is not necessarily harmful. Paragraph 132 of the NPPF confirms that it is the significance of the heritage asset upon which a development proposal is considered and that “great weight should be given to the asset’s conservation”. Where a development will lead to less than substantial harm, the harm is to be weighed against the public benefits of the proposal, including securing its optimum viable use.

6.1.3 Case law has established (Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council [2014] EWCA Civ 137) that where an authority finds that a development proposal would harm the setting ... or the character and appearance of a conservation area, it must give that harm “considerable importance and weight”. Moreover (Forge Field Society & Ors, R v Sevenoaks District Council [2014] EWHC 1895 (Admin)) where there is a finding of harm there is a strong presumption against planning permission being granted.

Assessment

- 6.1.4 The single storey rear element of the part single, part two storey rear extension has been designed to be modern in appearance due to its glazing, its rendered eaves, rendered elevations and flat roof. The modern addition on the ground floor would provide a juxtaposed relationship with the upper floor which is designed to respect the parent dwelling house. This is a welcomed relationship as it allows the original fabric of the building to be retained whilst allowing a well-lit ground floor area which would be useable for the occupiers of 21 Abbey Road. This element of the scheme cannot be seen from the public realm or easily from the neighbouring properties due to its single storey nature, its height at 2.9m and being set off the shared boundary by some 0.2m.
- 6.1.5 The glazed doors have been designed to be 0.9m in width across the rear and side elevation and almost the full height of the extension. The narrowness of these doors would complement the windows at the property in terms of embracing the vertical emphasis. In this regard, due thought has been given to this element of the scheme in complementing the original dwelling house and its parent features. In this regard, no objection is raised subject to a condition requiring information about these windows to an appropriate scale.
- 6.1.6 Rather than using a modern material, such as cladding or timber, to encase the rear extension on the ground floor to fully embrace the modern approach, the extension is to be smooth rendered. This is taken from the existing rear extension which is rendered to provide a smoother transition between the original dwelling house and the proposal. In this regard no objection is raised.
- 6.1.7 With regards to the part single, part two storey side element of the scheme, this has been designed to be traditional in appearance to preserve the original dwelling house. It is to have tiled roof, be brick built and have a port hole on the ground floor to the side taking cue from the dwelling house opposite. The extension would accommodate the garage as well as a bay window to match the bay window at the existing property. Whilst the extension is built at an angle with the shared boundary on the ground floor only, the proposal would still have a 1m separation gap with the shared boundary and this angle would not be overtly apparent given the siting of the extension on the plot. It is noted that the garage door will be modern in appearance. It is considered that given this elevation is exposed, a more traditional garage door would be required. Such details can be secured by way of a condition and can be discussed with the Conservation Officer. In this regard, no objection is raised to this element of the scheme.
- 6.1.8 The first floor side element of the scheme has been set off the shared boundary by some 2.5m to 3.8m, set down from the main ridge and set back from the principle elevation. The proportions of the extension would still remain ancillary to the main dwelling house. This is because the design of the extension is such that it would appear subordinate but also allows a view through the side of the site. The proportions of the first floor extension are consistent with the parent dwelling house. It should also be noted that there are other such examples of two storey side extensions in the Abbey Road street scene (photographic evidence below). The first floor rear element of the scheme has been designed with a hipped roof and is narrow respecting the proportions of the similar extension at number 23 Abbey Road but also ensuring that the original rear elevation retains its key features such as the window with the characteristic detailing below it.



6.1.11 Number 19 benefits from a box dormer (photographic evidence contained within the Committee Report). Number 23 benefits from a two storey rear extension with a hipped roof. The proposal is for two separate small dormers with a pitched roof. The rear dormers are small in size and appropriately situated in the rear roof slope set down from the ridge, set up from the eaves and set in from the flank elevation. The rear dormer incorporates cues from the hipped roof serving number 23 but without the bluntness of the design of a box dormer. Whilst the CAGs objections are noted it is considered that it would be unreasonable to resist the principle of rear dormers with a pitched roof given the design of the dormers and because the design of the dormers have amalgamated the roof alterations at number 19 and 23 Abbey Road. There is no objection to this element of the scheme due to the sensitive design of the dormers.

6.1.12 It is considered that overall the proposed scheme would not harm the Conservation Area but would have a neutral impact, which would be localised given the siting of 19 Abbey Road. Thus the character and appearance of the Conservation Area would be preserved.

Overall

6.1.13 The proposal would preserve the character and appearance of the Bush Hill Conservation Area. The proposal would comply with Policies 7.4 and 7.8 of the London Plan, Policies CP30 and CP31 of the Core Strategy, Policies DMD11, DMD14, DMD37 and DMD44 of the Development Management Document and the Bush Hill Conservation Area Character Appraisal.

6.2 Impact on Neighbouring Properties

Part single, part two storey rear element of the scheme

6.2.1 DMD 11 (2 a) states a first floor extension must a. not exceed a line taken at 30 degrees from the mid point of the nearest original first floor window to any of the adjacent properties; and where appropriate secure a common alignment of rear extensions.

- 6.2.2 The proposed ground floor element of the extension is no more than 3m in depth from the original rear elevation. In this regard, its depth would be policy compliant. The overall height of the extension is 2.9m. In this regard, it would also be policy compliant. In this regard, there would be no undue harm to residential amenity. It is noted that there is to be a large glazed area serving the extension, however, this glazed area would not be situated facing number 23, rather views would only be to the rear garden of the subject site. The proposal would from flat roof areas. To ensure that the flat roof areas of the extension are not used as an amenity area, a condition is suggested to be imposed to safeguard residential amenity.
- 6.2.3 There is to be glazing to the side of the single storey rear extension. The glazing on the single storey side elevation would face on to the shared boundary with number 19 Abbey Road, which benefits from a large single storey side extension (photographic evidence is below). The glazing would be situated off of the shared boundary by 2m at the minimum and 3.8m at the maximum. It is considered that given that the glazing is single storey in nature, there is a separation distance between the boundaries and because of the existence of the large single storey side extension at number 19, there would be no undue harm caused by the proposed glazed element.



- 6.2.4 The first floor element of the scheme would not breach a 30 degree line when drawn from the mid point of the original rear elevation of number 19 or 23 Abbey Road. It should also be noted that number 23 Abbey Road benefits from a two storey rear extension and the proposed first floor rear extension would secure a common alignment with the existing extension. This is demonstrated by the photographic evidence below. The first floor rear extension would benefit from French doors opening into the site with a Juliet balcony made out of a glazed structure. The balcony area cannot be used as an amenity area and thus, residential amenity is not unduly harmed.



Part single, part two storey side element of the scheme

6.2.5 Given the siting of the proposed works, there would be no undue harm caused to residential amenity in terms of outlook, sunlight and daylight (photographic evidence below). The brick element of the single storey side extension serving the non-habitable garage would benefit from a window. This window has been annotated on the plans to be obscure glazed and thus would not cause harm to residential amenity in terms of perceived privacy. The first floor side window would be a secondary window to the bedroom. This window would need to be obscure glazed to safeguard residential amenity.



Rear dormers

- 6.2.6 There are to be two rear dormers. These rear dormers would have views out of them but only over the rear garden of the subject property and it is considered that a refusal on grounds of loss of privacy from dormers would be very difficult to substantiate.

Overall

- 6.2.7 No objection is raised to the impact to residential amenity in terms of outlook, sunlight, daylight and privacy. This is subject to conditions to safeguard residential amenity.

6.3 Other

- 6.3.1 It is noted that the rear garden is to be landscaped and incorporate a hardstanding area. As the hardstanding area is to be below 0.3m this would fall within the remit of permitted development as it would not be defined as a platform and the hardstanding is to the rear of the property. The Article 4 Direction, which covers the Bush Hill Conservation Area, does not restrict the erection of hard standing to the rear of properties and thus would be deemed as permitted. If any trees are to be removed from the site to accommodate the landscaped area this would require consent from the Tree Department, which would fall outside of the remit of the planning regulations. No objection is therefore raised to this element of the scheme.

- 6.3.2 It is acknowledged that the plans have been annotated to demonstrate a hardstanding area to the front of the site. This has been subject to discussions between the Officer and the Agent. The hardstanding area is directly to the front of the garage and to the front door. The proposal is to provide landscaped area to the front of the site. There is no unnecessary hard landscaping to the front of the site as it is all useable and functional. In this regard, no objection is raised subject to a condition requiring the hard landscaping material to be submitted to ensure it is of a high quality and that all surface water is drained on the site. In addition, a landscaping scheme to the front of the site would need to be secured by way of a condition. No objection is therefore raised to this element of the scheme.

- 6.3.3 No new means of enclosure are to be erected and the existing is to be retained. If the means of enclosure to the front of the site is to be altered, then planning permission would be required. The Agent has been made aware of this fact.

- 6.3.4 It is also acknowledged on the plans that the existing UPVC windows are to be replaced with wooden windows. This is a welcomed addition as it would enhance the Conservation Area. A condition has been imposed requesting the details of these windows to ensure that they are appropriate to the original fabric of the building and the Conservation Area. No objection is raised to this welcomed addition subject to conditions.

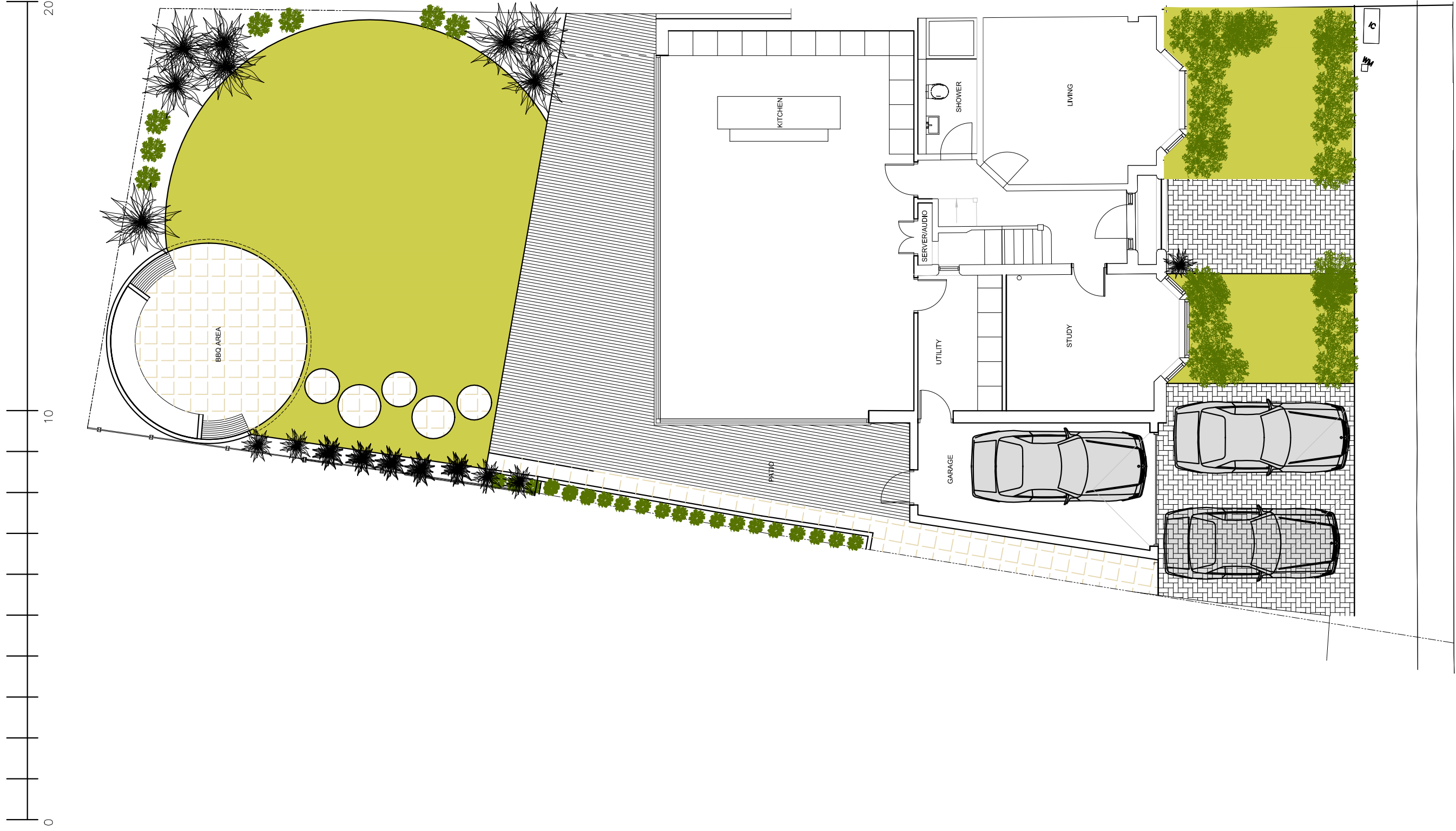
6.4 CIL

- 6.4.1 The development is not CIL liable due to the size of the development.

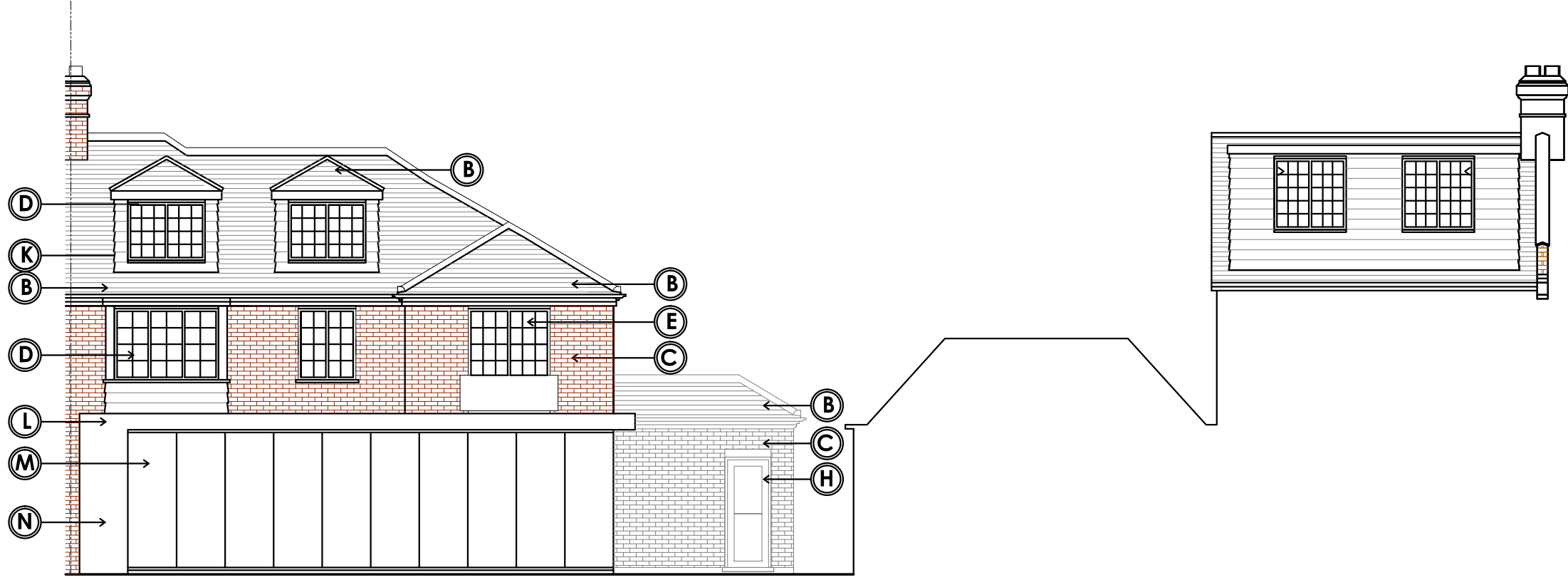
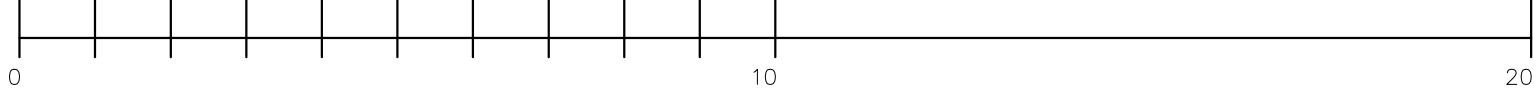
7.0 Recommendation

7.1 That planning permission be GRANTED subject to the following conditions:

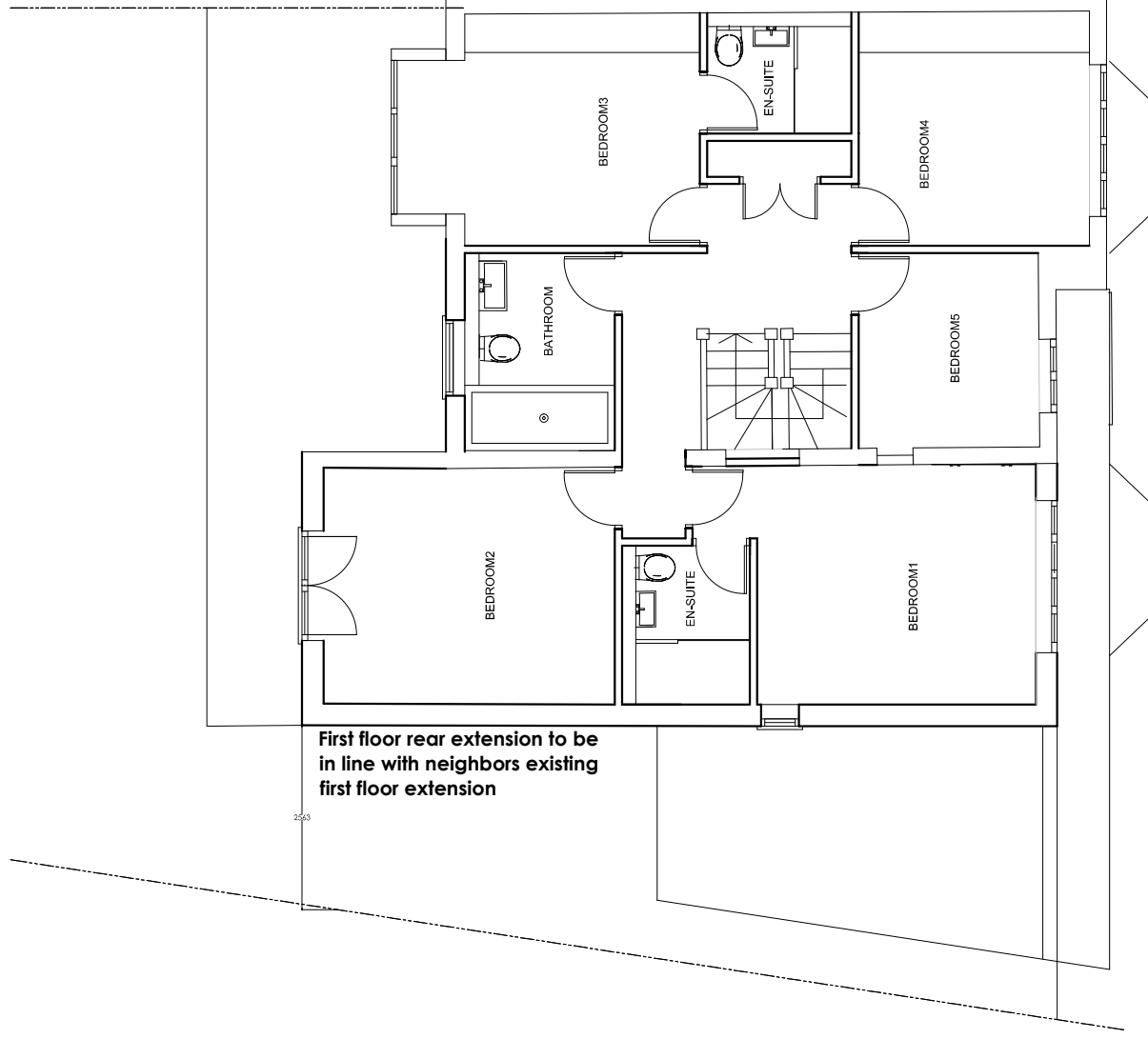
1. Time Limit (three years)
2. Plans (to be built in accordance with the approved plans)
3. Material, which also includes the brick type, bond and mortar to the dwelling house shall match the existing dwelling
4. Details of the proposed windows, doors and garage door to a scale of 1:20 with 1:5 sections showing cills and heads to be submitted.
5. Flat roof of the extension not to be used as amenity
6. Details of the hardstanding material to the front which has to be porous
7. Landscaping scheme to the front of the site
8. All flank elevation windows to be obscure glazed
9. No new fenestration



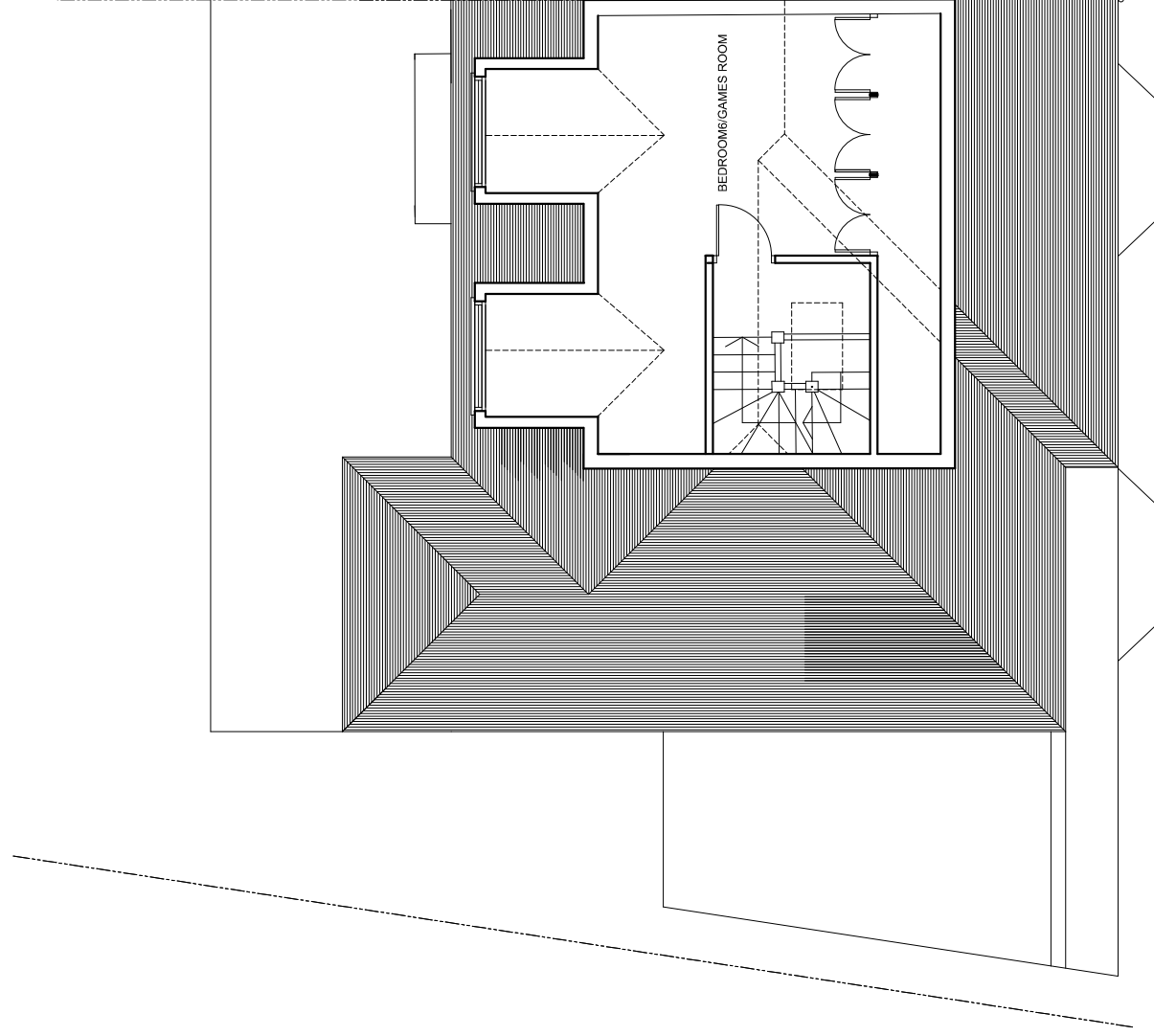
PROPOSED GROUND FLOOR PLAN



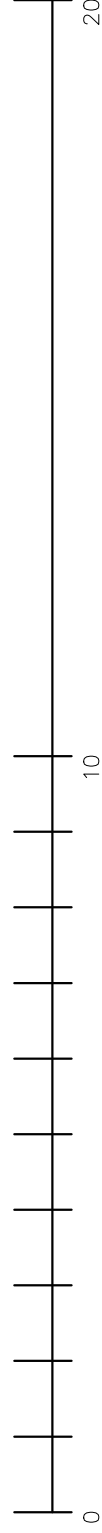
PROPOSED REAR ELEVATION

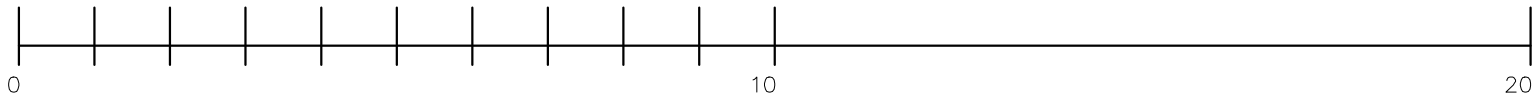


PROPOSED FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN





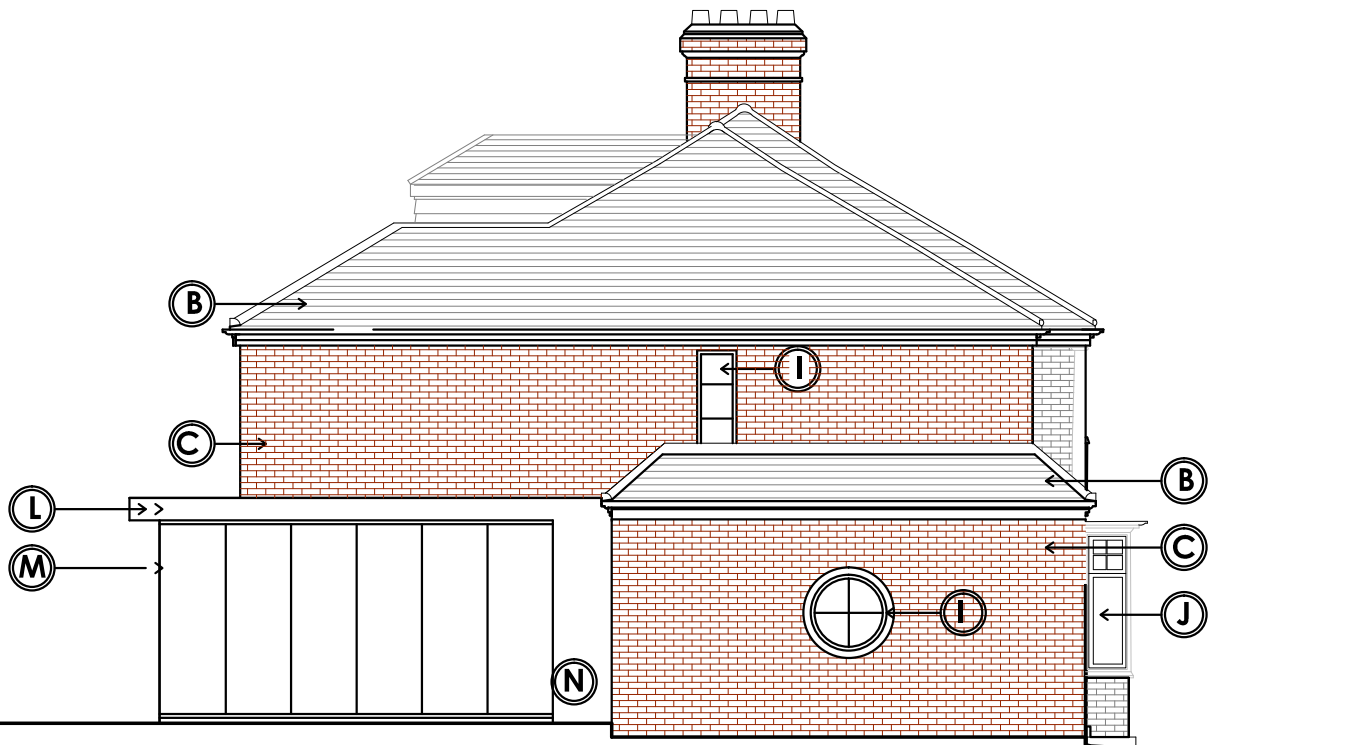
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

LEGEND

- A - NEW VELUX WINDOWS
- B - NEW ROOF TILES TO MATCH EXISTING
- C - NEW BRICKWORK TO MATCH EXISTING
- D - NEW TIMBER FRAME D/GLAZED BLACK FRAMED WINDOWS
- E - NEW D/GLAZED DOORS
- F - NEW ROOF LIGHT
- G - NEW REAR D/GLAZED BAY WINDOW
- H - NEW GARGE DOOR
- I - NEW D/GLAZED OBSCURE GLAZING
- J - NEW D/GLAZED BAY WINDOW TO MATCH EXISTING
- K - NEW DORMER WINDOW WITH VERTICAL TILES
- L - NEW SMOOTH PAINTED RENDERED FLAT ROOF
- M - NEW BI-FOLD DOORS
- N - NEW SMOOTH PAINTED RENDER WALL
- O - NEW GARAGE DOOR



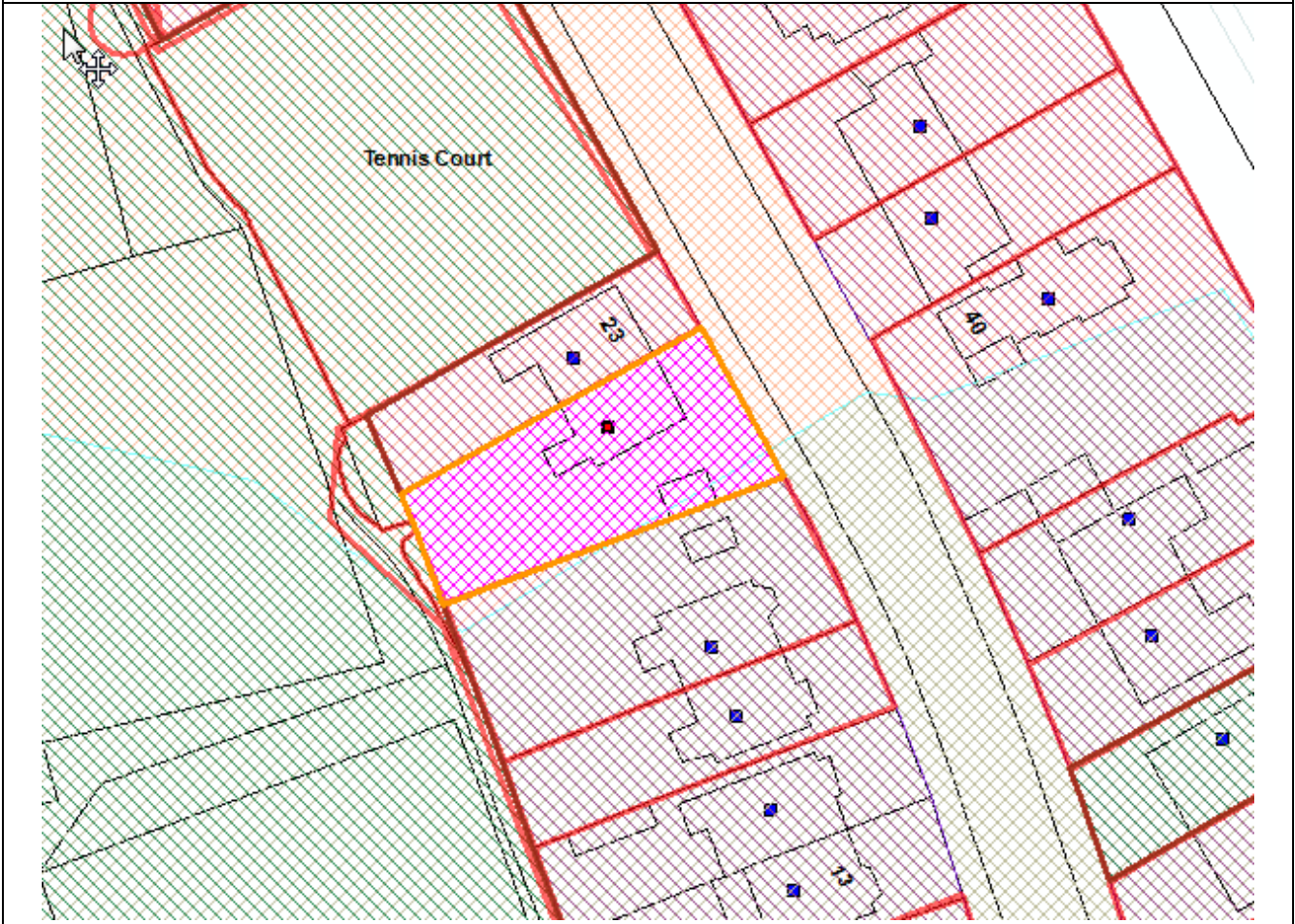
PROPOSED SIDE ELEVATION

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LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date :** 18/10/2016**Report of**Assistant Director, Planning,
Highways & Transportation**Contact Officer:**Andy Higham
Sharon Davidson
Ms M Demetri**Ward:**

Bush Hill Park

Ref: 16/03439/HOU**Category:** Householder**LOCATION:** 21 Abbey Road, Enfield, EN1 2QP,**PROPOSAL:** Single storey front, side and rear extension including integral garage.**Applicant Name & Address:**Mr ANDY CHRISTODOULDES
21, Abbey Road
ENFIELD
EN1 2QP**Agent Name & Address:**Mr NICK GEORGIU
20 PARK DRIVE
GRANGE PARK
LONDON
N21 2LR**RECOMMENDATION:** That planning permission be GRANTED subject to conditions**Note for Members:**



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Scale 1:1250



1.0 Site and Surroundings

- 1.1 Number 21 Abbey Road comprises an interwar semi-detached dwelling circa 1914-1935. It is situated in the Bush Hill Conservation Area. It is built of red brick with clay tiled hipped roof/ central stack over. The dwelling features a characteristic deeply recessed entrance and canted bay window to the front elevation. The building is cited in the Bush Hill Park Conservation Area Character Appraisal as making a positive contribution to the area. The Bush Hill Park Bowl and Tennis Club is sited immediately to the rear of the dwelling.
- 1.2 Views from The Bush Hill Park Bowl and Tennis Club to the property are not from the public realm and are almost completely obscure given the siting of number 19 Abbey Road and the existing landscaping around the site. The property already benefits from a tall single storey rear extension (rendered in white that is not an original feature) and a single storey side extension (glazed light weight structure with an additional clear corrugated roof). These are demonstrated below.



2.0 Proposal

- 2.2 This proposal seeks planning permission for the following works:
- A single storey front, side and rear extension including integral garage.

- 2.3 The reason that this application is being heard by the Planning Committee is because the Conservation Advisory Group (CAG) objected to the scheme. However, Officers considered that this application should be recommended for approval. Consequently, under the scheme of delegated authority, this application is required to be heard by the Planning Committee and thus due process has been undertaken.

3. Relevant Planning Decisions

3.1 16/03061/HOU

Part single, part first floor side and rear extension and rear dormers.

A report on this much larger proposal appears elsewhere on this Agenda, recommended for approval subject to conditions.

3.2 TP/06/0705

Replacement guttering to the front, side and rear elevations, together with the painting of the gutter board.

Granted permission, subject to conditions on the 17th May 2006.

4. Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Conservation Advisory Group (CAG)

The CAG meeting was held on the 6th September 2016 and an objection was raised. The minutes of the meeting are still in draft form and will not be formally approved until the next CAG meeting which would be prior to the submission of this report being published. The objection regarding this application is as follows:

“The CAG noted the explosive growth of the property evidenced by the proposal. Whilst the front elevation (public vista) is acceptable the wrap around, rear ground floor fenestration is excessive and out of keeping with the co-joined property and the neighbourhood.

CAG were resolved to reject the proposal urging the applicant to rein in the ground floor glazing of the proposal”.

For clarification purposes, the CAG are objecting to the amount of glazing on the ground floor rear extension.

4.1.2 Bush Hill Conservation Area Study Group (BHCASG)

The BHCASG have stated the following with regards to the application and have raised an objection to the scheme:

“The property is described in the Character Appraisal for BHP as “making a positive contribution to the area” and with “some of the original features intact”. This proposal will change that assessment.

The property is a matched semi detached. The proposed fenestration, to the ground floor of the rear elevation, is simply gross and totally out of character with the co-joined property and the immediate neighbourhood. There are 16 bi-folding doors which, in this semi detached property, is completely out of keeping with the original design.

This application will be a discordant feature in the conservation area. It neither maintains or improves the appearance of the house”.

4.1.2 The Greater London Archaeology Advisory Service (GLAAS)

No objection has been raised. The site is situated in an archaeological priority area, however, the small scale of the development proposes a limited archaeological risk. Further, no conditions are required to be imposed.

4.1.3 The Environment Agency (EA)

No objection raised. The site falls within Flood Zone 2 and thus standing advise applies. This means that the plans are required to ensure that the floor levels are either no lower than existing floor levels or 300 millimetres (mm) above the estimated flood level.

The Planning Officer can confirm that if the application is approved by members then an informative will be added to the decision notice ensuring that the Agent and Applicant are aware of the Environment Agency's comments.

4.1.4 Traffic and Transport

Traffic and Transport originally objected to the scheme as there would appear to be an alteration to the existing access into the site. An alteration to the access into the site would not be acceptable within the designated Bush Hill Conservation Area.

The Planning Officer has reviewed the plans and can confirm there would be no alteration to the access into the site. Further, the Agent has confirmed in writing that there is to be no alteration to the access into the site. For clarification purposes the access is to remain as is.

4.2 **Public response**

4.2.1 Letters were sent to 5 adjoining and nearby residents. In addition, a notice has been displayed adjacent to the site and in the local press. As a result, 2 responses have been received.

4.2.2 Number 19 Abbey Road has raised an objection to the scheme. They consider that the height of the proposed extension and proximity of the ground floor extension to their property would be overbearing. In addition, they consider that the full height side glass bi-fold doors will look straight into their garden.

4.2.3 Number 23 Abbey Road confirmed that they have no objection to the single storey extension (this application) but do have an objection to application reference 16/03061/HOU.

5.0 Relevant Policy

5.1 The policies listed below are considered to be consistent with the NPPF and therefore it is considered that due weight should be given to them in assessing the development the subject of this application.

5.2 London Plan

Policy 7.1	Building London's Neighbourhoods and communities
Policy 7.4	Local character
Policy 7.6	Architecture
Policy 7.8	Heritage

5.3 Core Strategy

CP30	Maintaining and improving the quality of the built and open environment
CP31	Heritage

5.4 Development Management Document

DMD 11	Rear Extensions
DMD 14	Side Extensions
DMD 37	Achieving High Quality and Design-Led Development
DMD 44	Preserving and Enhancing Heritage Assets

5.5 Other Policy

Nationally Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)
Bush Hill Park Conservation Area Character Appraisal

6.0 Analysis

6.1 Impact on Character of Surrounding Area

Policy

6.1.1 Policy CP31 and Policy DMD44 states that when considering development proposals affecting heritage assets, regard will be given to the special character and those applications for development which fail to conserve or enhance the special interest, significance or setting of a heritage asset will normally be refused. This approach is consistent with that set out in the NPPF. Policy DMD14 seeks to ensure that extensions to the side of existing residential properties do not assist in creating a continuous façade of properties or a terracing effect out of character with the street scene. Policy DMD 11 requires that single storey rear extensions do not cause an adverse visual impact and do not impact on the amenities of the original building.

Harm

- 6.1.2 Any development proposal has some form of impact. An “impact” is not necessarily harmful. Paragraph 132 of the NPPF confirms that it is the significance of the heritage asset upon which a development proposal is considered and that “great weight should be given to the asset’s conservation”. Where a development will lead to less than substantial harm, the harm is to be weighed against the public benefits of the proposal, including securing its optimum viable use.
- 6.1.3 Case law has established (*Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council* [2014] EWCA Civ 137) that where an authority finds that a development proposal would harm the setting ... or the character and appearance of a conservation area, it must give that harm “considerable importance and weight”. Moreover (*Forge Field Society & Ors, R v Sevenoaks District Council* [2014] EWHC 1895 (Admin)) where there is a finding of harm there is a strong presumption against planning permission being granted.

Assessment

- 6.1.4 The single storey rear extension has been designed to be modern in appearance due to its glazing, its rendered eaves, rendered elevations and flat roof. The modern addition on the ground floor would provide a juxtaposed relationship with the upper floor which is the original building. This is a welcomed relationship as it allows the original fabric of the building to be retained, and notable, whilst allowing a well-lit ground floor area which would be useable for the occupiers of 21 Abbey Road. This element of the scheme cannot be seen from the public realm or easily from the neighbouring properties due to its single storey nature and its height at 2.9m. At this point in the Committee report it should be noted that the glazing would be similar to a conservatory structure, albeit, the roof would not glazed.
- 6.1.5 The glazed doors have been designed to be 0.9m in width across the rear and side elevation and almost the full height of the extension. The narrowness of these doors would complement the windows at the property in terms of embracing the vertical emphasis from the original dwelling house. In this regard, due regard has been given to this element of the scheme in complementing the original dwelling house and its parent features. No objection is raised subject to a condition requiring information about these windows to an appropriate scale.
- 6.1.6 Rather than using a modern material to encase the rear extension, such as timber, to fully embrace the modern approach, the extension is to be smooth rendered. This cue is taken from the existing rear extension which is rendered to provide a smoother transition between the original dwelling house and the proposal. In this regard no objection is raised.
- 6.1.7 It is prudent to note that the single storey rear extension is separate from the single storey side extension. This has been purposefully designed to ensure that the traditionally designed element of the scheme and the more modern designed element of the scheme are read as two separate entities. Specifically, with regards to the single storey side extension, this has been designed to be traditional in appearance to preserve the original dwelling house. It is to have tiled roof, be brick built and have a port hole to the side taking cue from the dwelling house opposite. The extension would accommodate the garage as well as a bay window to match the bay window

at the existing property. Whilst the extension is built at an angle with the shared boundary, the proposal would still have a 1m separation gap with the shared boundary and this angle would not be overtly apparent given the siting of the extension on the plot. It is noted that the garage door will be modern in appearance. It is considered that given this elevation is exposed, a more traditional garage door would be required. Such details can be secured by way of a condition. The bay window would respect the existing bay window at the property and provide a rhythm across the front of the site that would be welcomed within the pattern of the street screen. It would also tidy up this important vista and draw the attention away from the unsightly extension and means of enclosure serving number 19 Abbey Road. In this regard, no objection is raised to this element of the scheme.

- 6.1.8 It is considered that overall the proposed scheme would not harm the Conservation Area but would have a neutral impact, which would be localised given the siting of 19 Abbey Road. Thus the character and appearance of the Conservation Area would be preserved. Further, the majority of the works, which are single storey, are situated to the rear of the property and therefore not visible from the public realm.

Overall

- 6.1.9 The proposal would preserve the character and appearance of the Bush Hill Conservation Area. The proposal would comply with Policies 7.4 and 7.8 of the London Plan, Policies CP30 and CP31 of the Core Strategy, Policies DMD11, DMD14, DMD37 and DMD44 of the Development Management Document and the Bush Hill Conservation Area Character Appraisal.

6.2 Impact on Neighbouring Properties

Single storey rear extension element of the scheme

- 6.2.1 DMD 11 (2 a) states that single storey rear extensions must not exceed 3m in depth beyond the original rear wall in the case of semi detached dwelling houses. Following on from this the policy states in section 2 b and c that the extensions must not exceed a line taken at 45 degrees from the midpoint of the nearest original ground floor window to any adjacent properties; or must secure a common alignment of rear extensions. In addition, this policy states that in the case of flat roofs, the extension should not exceed a height of 3m from the ground level when measured from the eaves with an allowance of between 3.3m to 3.5m to the top of a parapet wall.
- 6.2.2 The proposed extension is no more than 3m in depth from the original rear elevation. In this regard, its depth would be policy compliant. The overall height of the extension is 2.9m. In this regard, it would also be policy compliant. Thus, there would be no undue harm to residential amenity. It is noted that there is to be a large glazed area serving the extension, however, this glazed area would not be situated facing number 23, rather, views would only be to the rear garden of the subject site.
- 6.2.3 There is to be glazing to the side of the rear extension. The glazing on the single storey side elevation would face on to the shared boundary with number 19 Abbey Road, which benefits from a large single storey side extension (photographic evidence is below). The glazing would be situated off of the shared boundary by 2.5m at the minimum and 3.8m at the

maximum. It is considered that given that the glazing is single storey in nature, there is a separation distance between the boundaries and because of the existence of the large single storey side extension at number 19, there would be no undue harm caused by the proposed glazed element.



- 6.2.4 The proposal would benefit from flat roof areas. To ensure that the flat roof areas of the extension are not used as an amenity area, a condition is suggested to be imposed to safeguard residential amenity.

Single storey front and side element of the scheme

- 6.2.5 Given the siting of the proposed works, and the fact that they are single storey, there would be no undue harm caused to residential amenity in terms of outlook, sunlight and daylight (photographic evidence below). The brick element of the single storey side extension serving the non-habitable garage would benefit from a window. This window has been annotated on the plans to be obscure glazed and thus would not cause harm to residential amenity in terms of perceived privacy.



Overall

6.2.6 No objection is raised to the impact to residential amenity in terms of outlook, sunlight, daylight and privacy. This is subject to conditions to safeguard residential amenity.

6.3 Other

6.3.1 It is noted that the rear garden is to be landscaped and incorporate a hardstanding area. As the hardstanding area is to be below 0.3m this would fall within the remit of permitted development as it would not be defined as a platform and the hardstanding is to the rear of the property. For clarification purposes, the Bush Hill Conservation Area Article 4 Direction does not remove permitted development rights for the erection of areas of hardstanding to the rear of properties. If any trees are to be removed from the site to accommodate the landscaped area this would require consent from the Tree Department, which would fall outside of the remit of the Planning Regulations. The Tree Officer would assess this element of the scheme under the Tree Regulations. No objection is therefore raised to this element of the scheme.

6.3.2 It is acknowledged that the plans have been annotated to demonstrate a hardstanding area to the front of the site. This has been subject to discussions between the Officer and the Agent. The hardstanding area is directly to the front of the garage and to the front door. The proposal is also to provide landscaped area to the front of the site. There is no unnecessary hard landscaping to the front of the site as it is all useable and functional (access to the garage, parking and access into the dwelling house). In this regard, no objection is raised subject to a condition requiring the hard landscaping material to be submitted to ensure it is of a high quality and takes into consideration of surface water drainage within the site. In addition, a landscaping scheme to the front of the site would be needed which can be secured by way of a condition. No objection is therefore raised to this element of the scheme.

6.3.3 No new means of enclosure are to be erected and the existing is to be retained. If the means of enclosure to the front of the site is to be altered,

then planning permission would be required. The Agent has been made aware of this fact.

6.3.4 It is also acknowledged on the plans that the existing windows are to be replaced with wooden windows. This is a welcomed addition as it would enhance the Conservation Area. A condition has been imposed requesting the details of these windows to ensure that they are appropriate to the original fabric of the building and the Conservation Area. No objection is raised to this welcomed addition subject to conditions.

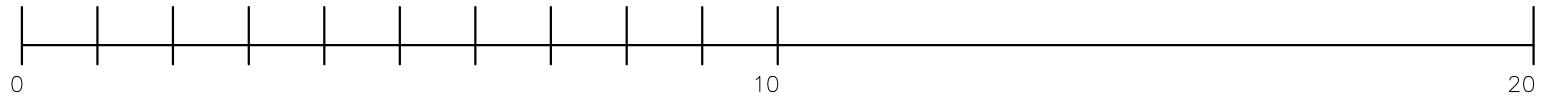
6.4 CIL

6.4.1 The development is not CIL liable due to the size of the development.

7.0 **Recommendation**

7.1 That planning permission be GRANTED subject to the following conditions:

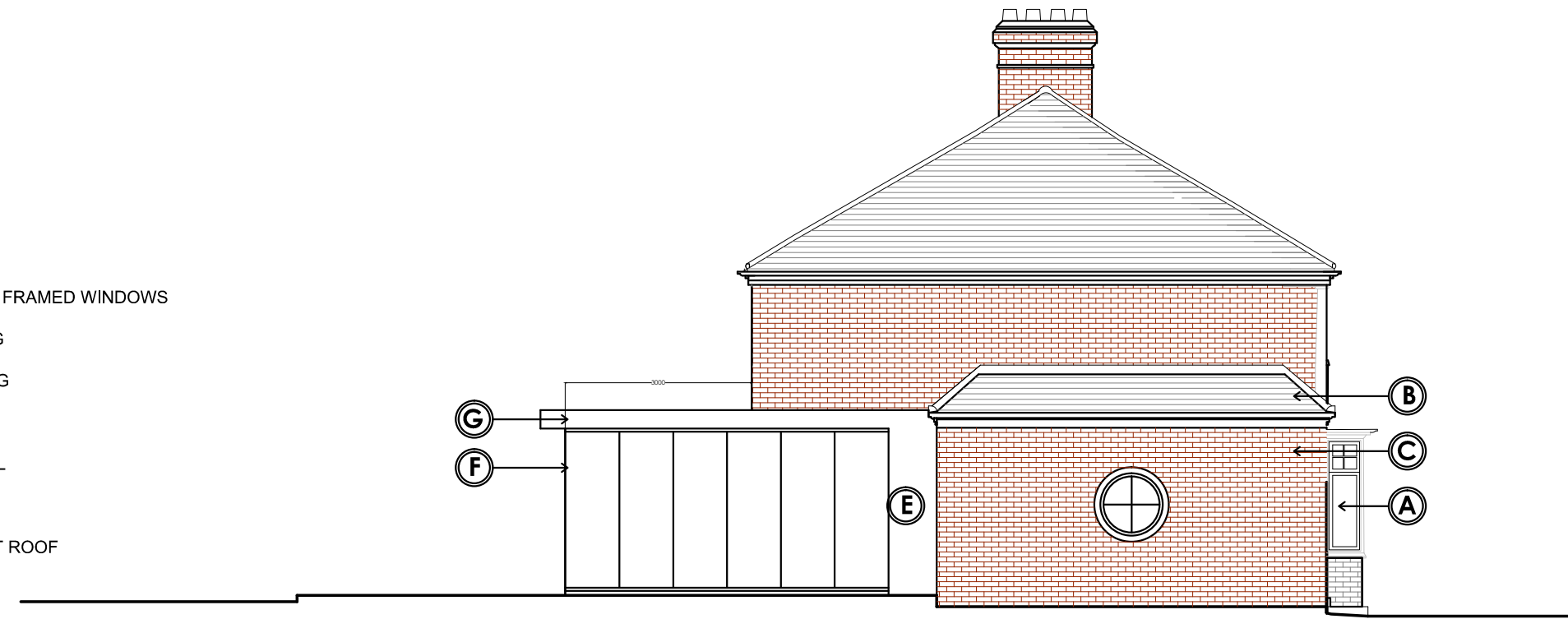
1. Time Limit (three years)
2. Plans (to be built in accordance with the approved plans)
3. Material, which also includes the brick type, bond and mortar to the dwelling house shall match the existing dwelling
4. Details of the proposed windows, doors and garage door to a scale of 1:20 with 1:5 sections showing cills and heads to be submitted.
5. Flat roof of the extension not to be used as amenity
6. Details of the hardstanding material to the front which has to be porous
7. Landscaping scheme to the front of the site



PROPOSED FRONT ELEVATION



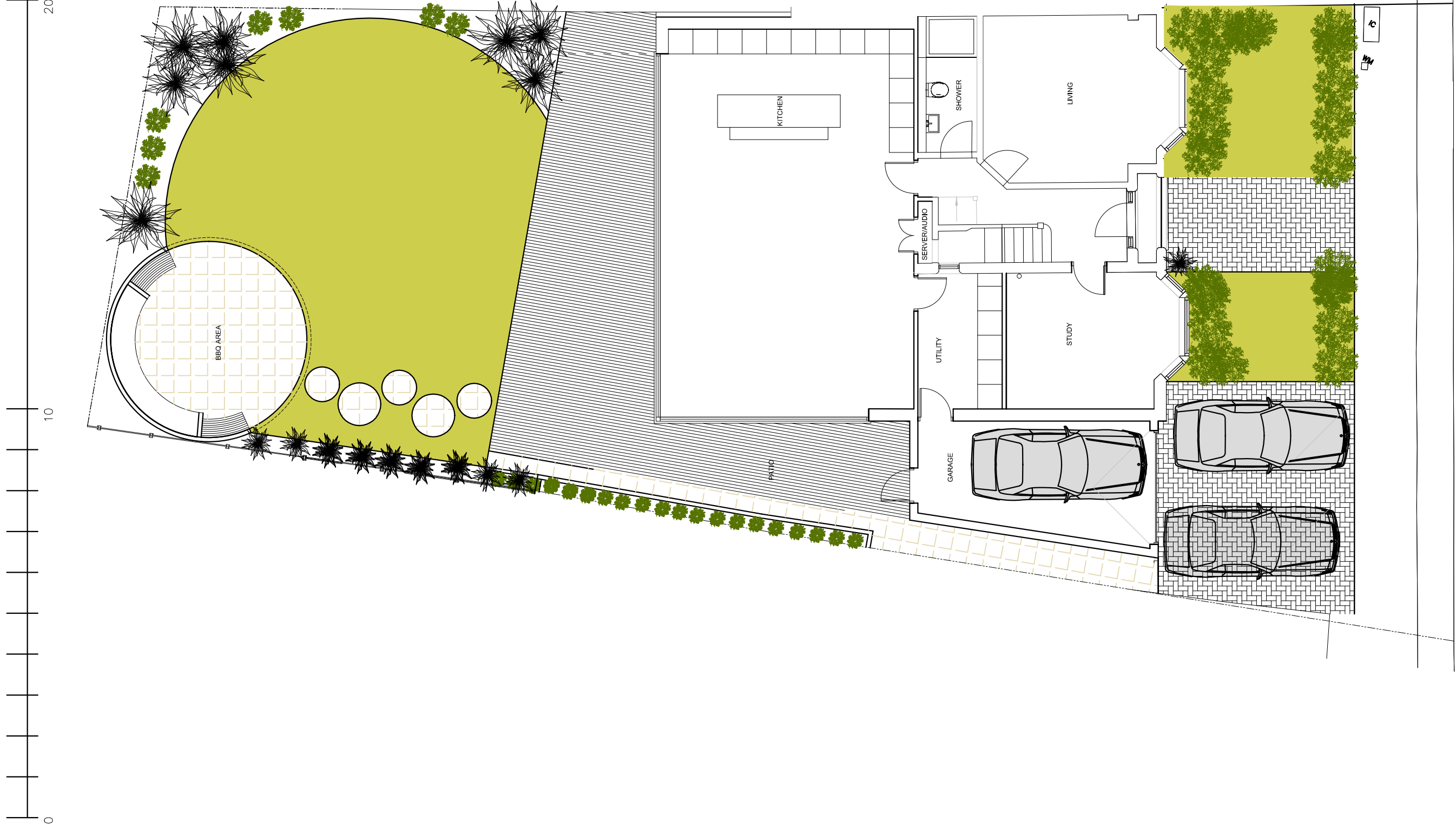
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

LEGEND

- A - NEW TIMBER FRAME D/GLAZED GREY FRAMED WINDOWS
- B - NEW ROOF TILES TO MATCH EXISTING
- C - NEW BRICKWORK TO MATCH EXISTING
- D - NEW GARAGE DOOR
- E - NEW SMOOTH PAINTED RENDER WALL
- F - NEW BI-FOLD DOORS
- G - NEW SMOOTH PAINTED RENDER FLAT ROOF
- H - NEW GARAGE DOOR



PROPOSED GROUND FLOOR PLAN

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